

# PACKAGE DISTRIBUTION CENTER

## 3901 HANSON ROAD

## MADISON, WI

### FOR



#### PARKING LOT PLAN SITE INFORMATION BLOCK

SITE ADDRESS: 3901 HANSON ROAD  
 SITE ACREAGE: 40.21 ACRES

NUMBER OF BUILDING STORIES (ABOVE GRADE): 1  
 BUILDING HEIGHT: 34'-6" FROM DOCK PVMT  
 DIHLR TYPE OF CONSTRUCTION: IIB  
 TOTAL SQUARE FOOTAGE OF BUILDING: 106,410

USE OF PROPERTY: PACKAGE DISTRIBUTION CENTER  
 GROSS SQUARE FOOTAGE OF OFFICE: 4,508  
 GROSS SQUARE FOOTAGE OF RETAIL: N/A  
 NUMBER OF EMPLOYEES IN WAREHOUSE: 160  
 NUMBER OF EMPLOYEES IN PRODUCTION AREA: 0  
 CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY: N/A

NUMBER OF BICYCLE STALLS SHOWN: 10

NUMBER OF PARKING STALLS:

SMALL CARS	0
LARGE CARS	92
ACCESSIBLE	6
TOTAL	98

NUMBER OF TREES SHOWN: 118

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#### BUILDING INFORMATION

CONSTRUCTION TYPE: IIB  
 TOTAL BLDG SQUARE FOOTAGE: 106,410  
 PRIMARY OCCUPANCY GROUP: S2  
 FULLY SPRINKLERED IN ACCORDANCE WITH N.F.P.A 13  
 BUILDING HEIGHT: 1 STORY (34'-6" FROM DOCK PVMT TO TOP OF PANEL)

PROJECT NAME:



SHEET TITLE:

TITLE SHEET

NO.	DATE	REVISIONS	BY

PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

FILE NAME: C:\DAVETEMP\

SHEET NUMBER

**AS BUILT**

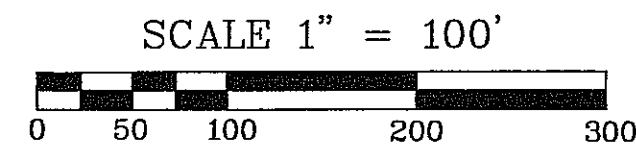
T1.0

THIS PARCEL IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS, RECORDED AND UNRECORDED.

**LEGEND**

- ⊗ FOUND 2" IRON PIPE
- ⊙ FOUND 1" IRON PIPE WITH ALUM. CAP
- ⊙ FOUND 3/4" SOLID ROD
- FOUND BRASS MONUMENT IN CONC.
- W WETLAND
- W WETLAND SETBACK

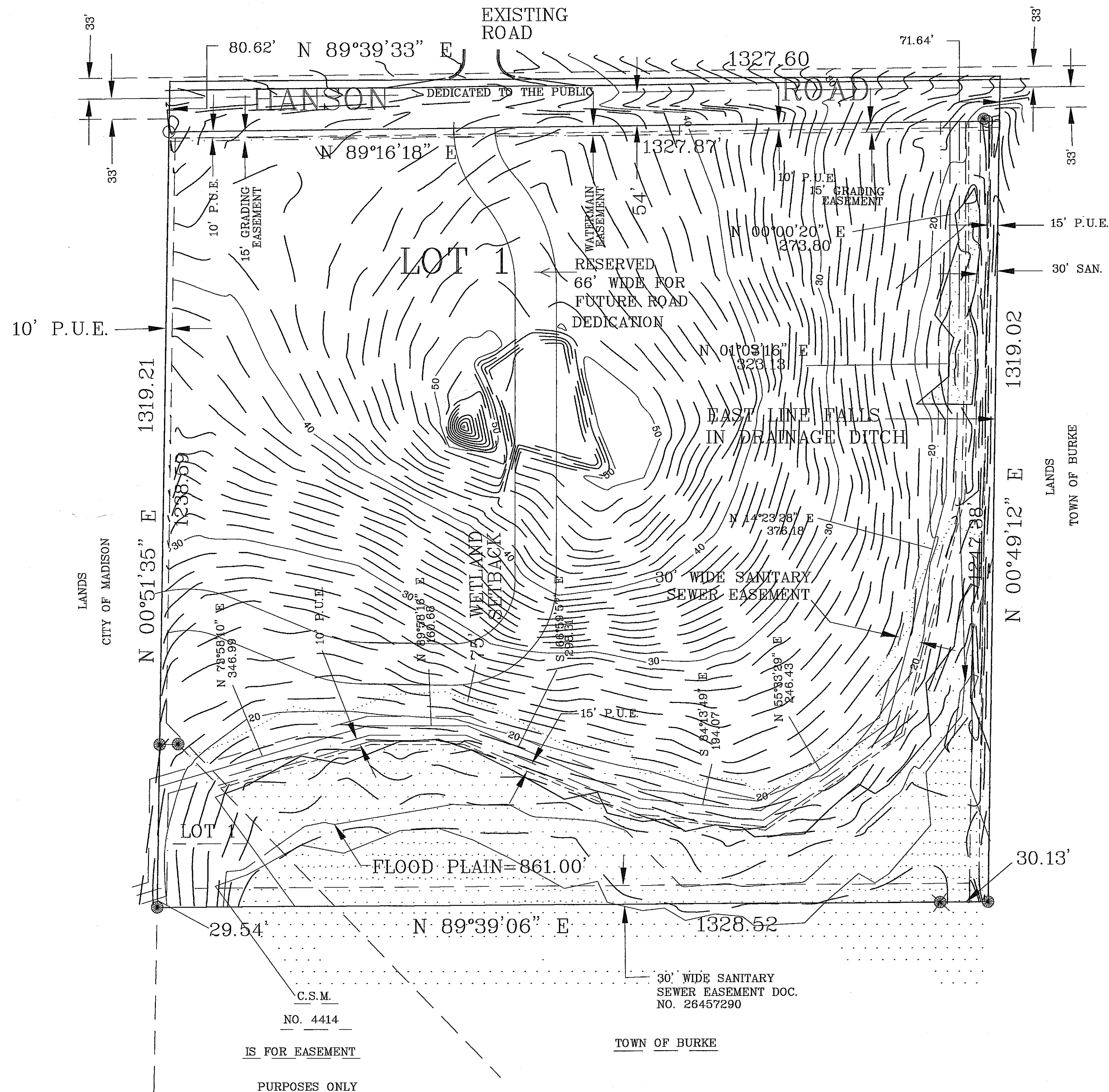
AREA :  
 40.21 ACRES OR 1,751,489 SQ. FT.  
 INCL. ROAD RIGHT OF WAY  
 37.89 ACRES OR 1,650,442 SQ. FT.  
 EXCL. ROAD RIGHT OF WAY



PREPARED FOR:

RUEDEBUSCH DEVELOPMENT AND CONSTRUCTION  
 P.O. BOX 7155  
 MADISON, WI., 53707

**CITY OF MADISON**



**NOTES:**

ALL LOTS WITHIN THIS SURVEY ARE SUBJECT TO A NON-EXCLUSIVE EASEMENT FOR DRAINAGE PURPOSES WHICH SHALL BE A MINIMUM OF 6 FEET IN WIDTH MEASURED FROM THE PROPERTY LINE TO THE INTERIOR OF EACH LOT EXCEPT THAT THE EASEMENT SHALL BE 12 FEET IN WIDTH ON THE PERIMETER OF THE SURVEY. EASEMENTS SHALL NOT BE REQUIRED ON THE PROPERTY LINES SHARED WITH GREENWAYS OR PUBLIC STREETS.

BEFORE CONSTRUCTION CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES.  
 1 - 800 - 242 - 8511

SEE PAGE TWO OF CERTIFIED SURVEY MAP NO. 10768 RECORDED AS DOC. NO. 3725419, VOL. 64 PAGES 103, 104, 105, 106 & 107 DANE COUNTY REGISTER OF DEEDS.

**DESCRIPTION :**

LOT 1 CERTIFIED SURVEY MAP NO. 10768 IN THE SE 1/4 OF THE SW 1/4 SECTION 16, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROJECT NAME:



SHEET TITLE:

EXISTING SITE SURVEY

RECIPIENT RECOGNIZES THAT INFORMATION STORED ON ELECTRONIC MEDIA MAY NOT BE 100% COMPLETE WITH THEIR OWN COMPUTER SYSTEM DUE TO DIFFERENCES IN COMPUTER HARDWARE AND SOFTWARE. THEREFORE, RECIPIENT AGREES THAT WILLIAMSON SURVEYING CO., INC., SHALL NOT BE HELD LIABLE FOR THE COMPLETENESS OR ACCURACY OF ANY MATERIALS OR DOCUMENTS PREPARED FROM THIS ELECTRONIC DRAWING. THE RECIPIENT RECOGNIZES THAT USE OF THIS ELECTRONIC DRAWING IS AT THEIR OWN RISK AND WITHOUT ANY LIABILITY RISK OR LEGAL EXPOSURE TO WILLIAMSON SURVEYING COMPANY, INC.

**WILLIAMSON SURVEYING CO., INC.**  
 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN 53597  
 PHONE 1 (608) 255 - 5705

**TOPOGRAPHIC MAP**  
 LOCATED ON LOT 1 CERTIFIED SURVEY MAP NO. 10768  
 IN THE SE 1/4 OF THE SW 1/4, SECTION 16, T8N, R10E  
 CITY OF MADISON, DANE COUNTY, WISCONSIN.

DATE : 7 / 11 / 03	CHECKED BY : R.E.W.
SCALE : 1" = 100'	DRAWING NO. 03W204
DRAWN BY : D.C.S.	SHEET 1 OF 1

NO.	DATE	REVISIONS	BY

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

IS FOR EASEMENT PURPOSES ONLY

TOWN OF BURKE

**AS BUILT**

C1.0

SHEET NUMBER



PROJECT NAME:



SHEET TITLE:  
 SITE LAYOUT PLAN

△	04-28-04	REV. TURNSTILE, ENT.	DAN
△	03-23-04	DEL. G.H. & ADD ISLAND DAN	
△	10-23-03	ENT ROAD & VAR.	REV. DAN

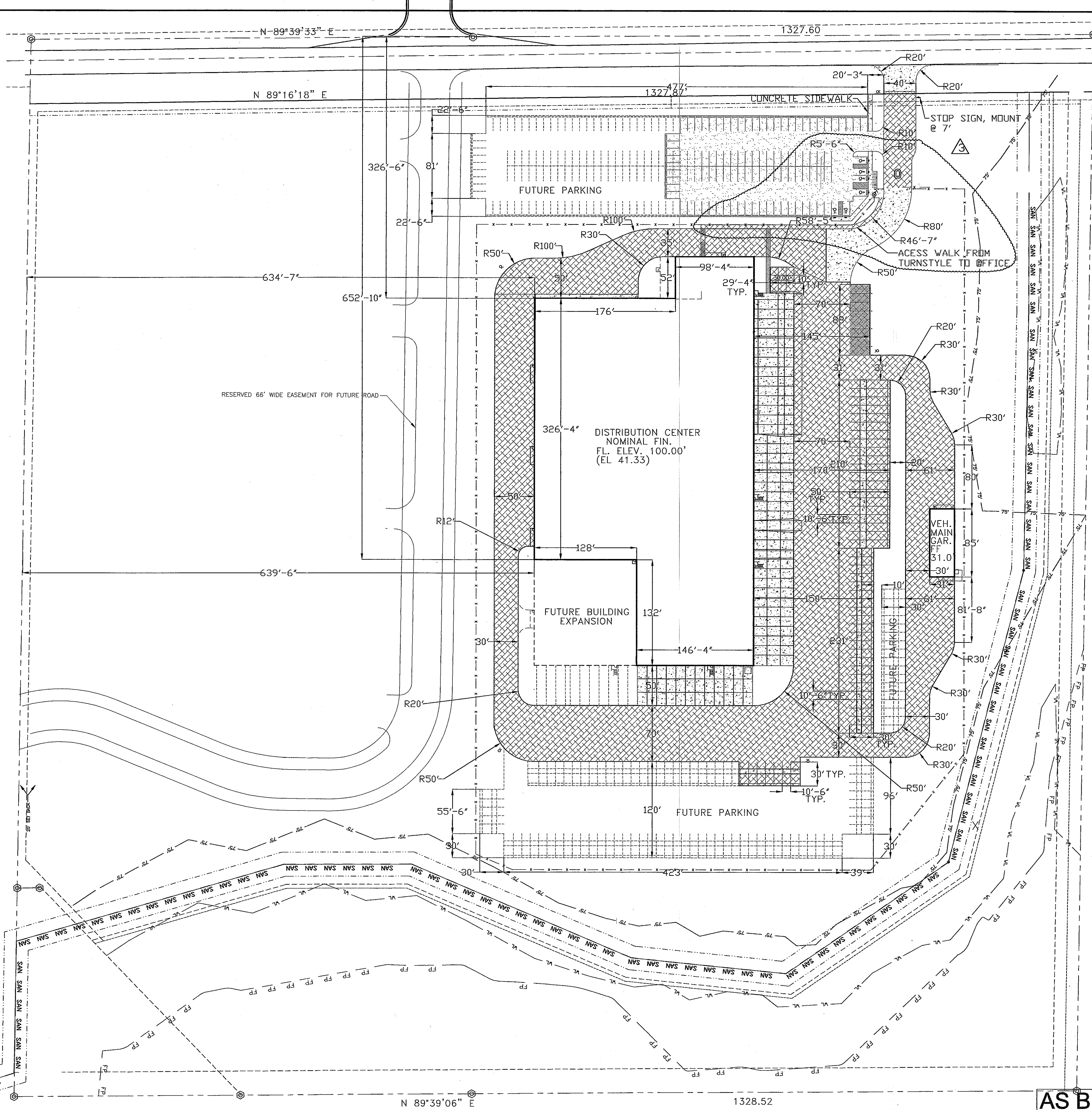
NO.	DATE	REVISIONS	BY
PROJECT NUMBER:			
DATE:		9-24-03	
DRAWN BY:		DAN	
CHECKED BY:		D. NELSEN	
PROJECT MANAGER:		D. NELSEN	
FILE NAME:		C:\DAVETEMP\	

SHEET NUMBER

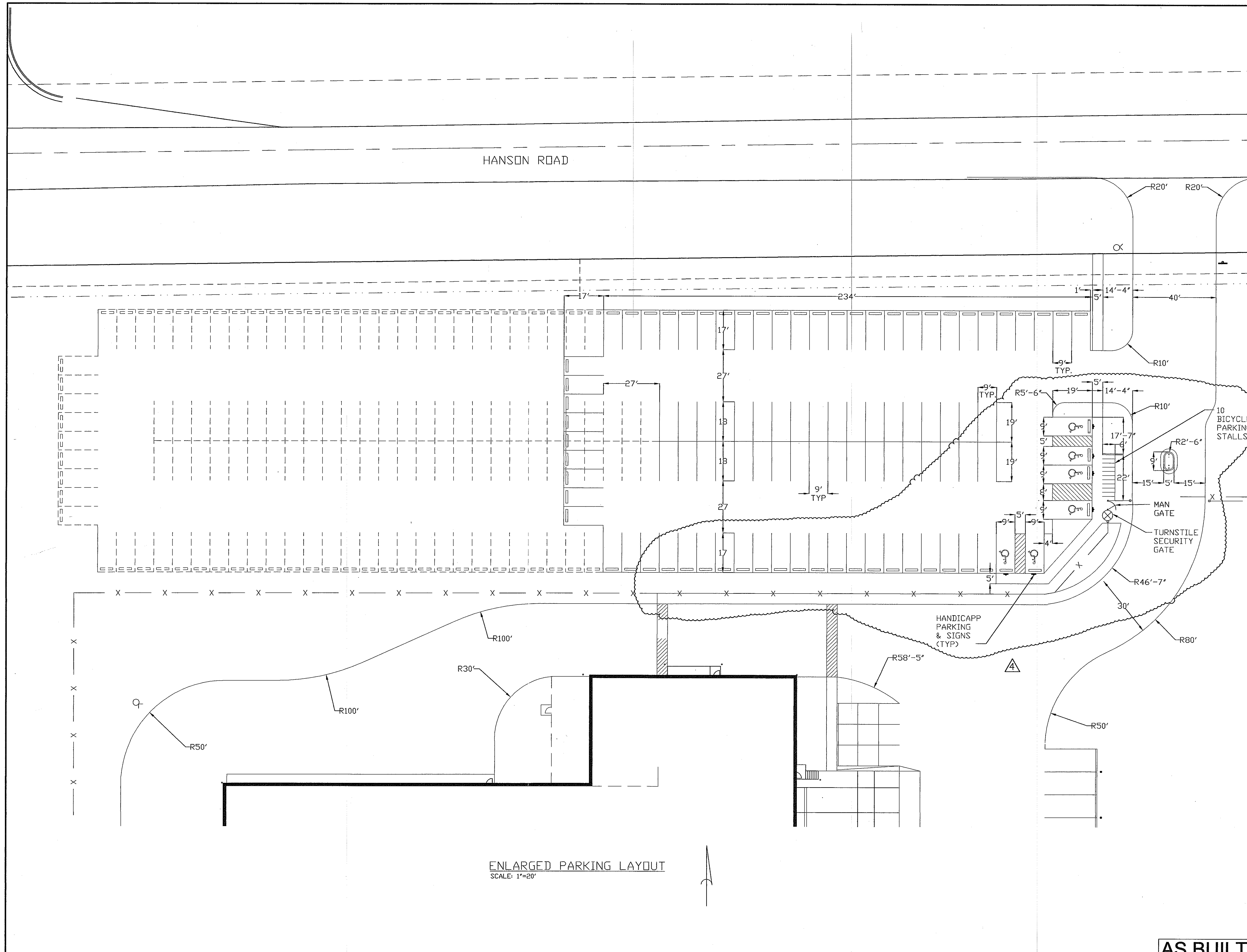
C2.0

- LEGEND**
- FP FLOOD PLAIN
  - WL WETLANDS
  - 75' 75' WETLAND SETBACK
  - SAN SAN SANITARY SEWER
  - PROPERTY LINE
  - x-x-x FENCE
  - ▨ TYPE 1 ASPHALT
  - ▩ TYPE 2 ASPHALT
  - ▧ CONCRETE PAVEMENT
  - ▤ CONCRETE SIDEWALK
  - FIRE HYDRANT

SCALE 1"=60'



**AS BUILT**



ENLARGED PARKING LAYOUT  
SCALE: 1"=20'

PROJECT NAME:



SHEET TITLE:

PARKING LAYOUT PLAN

△	04-28-04	REV. TURNSTILE, ENT.	DAN
△	04-14-04	REV. SIDEWALK	DAN
△	03-23-04	G.H., PARKING, TSTYLE	DAN
△	10-23-03	ENT ROAD & VAR. REV.	DAN

NO.	DATE	REVISIONS	BY
-----	------	-----------	----

PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

FILE NAME: C:\DAVETEMP\

SHEET NUMBER

**AS BUILT**

C2.1



PROJECT NAME:



SHEET TITLE:

SITE GRADING PLAN

△	4-28-04	REV TURNSTYLE, ENT.	DAN
△	4-7-04	DEL GH & ADD ISLAND	DAN
△	10-24-03	ENT ROAD & VAR.	REV. DAN
NO.	DATE	REVISIONS	BY

PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

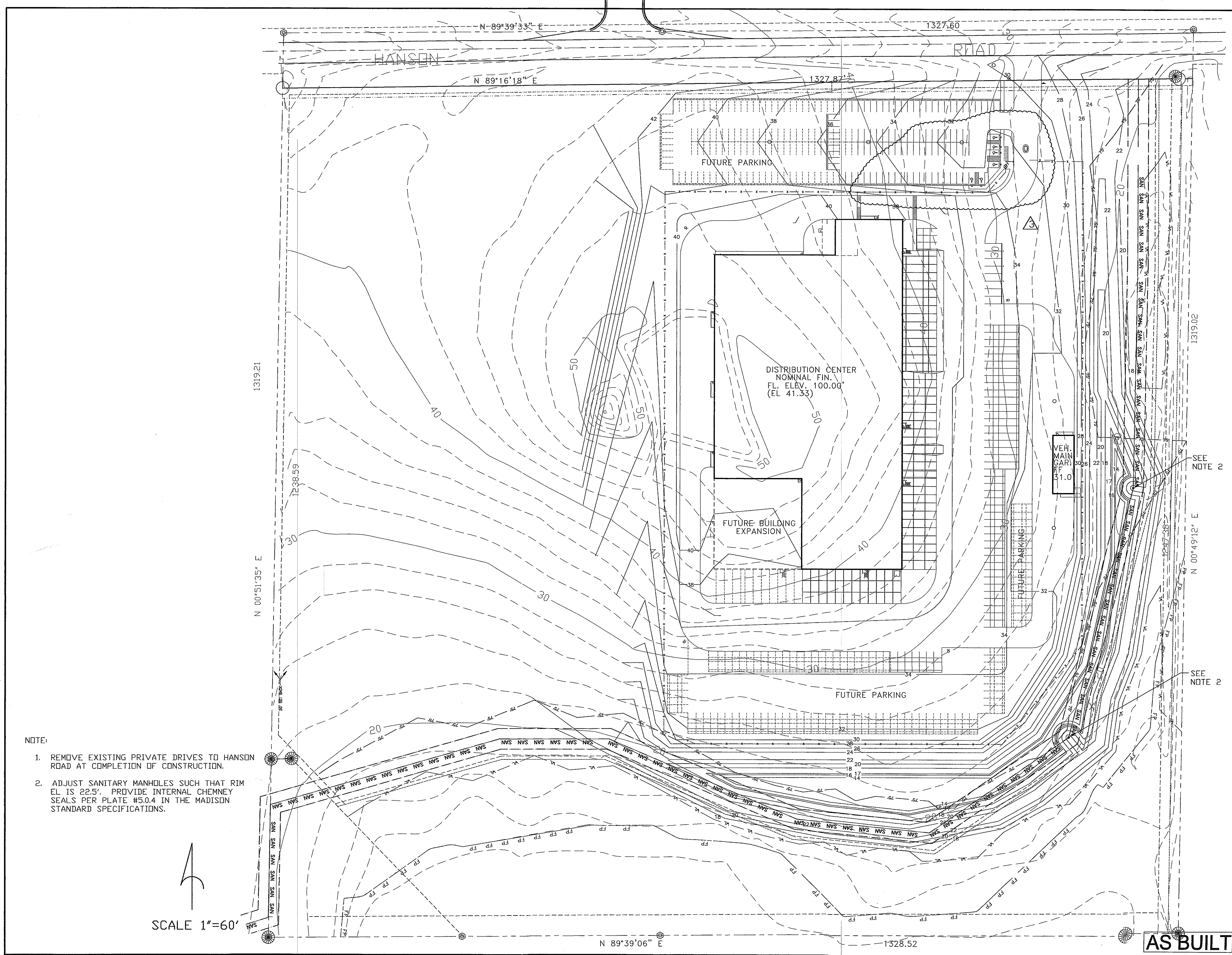
CHECKED BY: D. NELSEN

PROJECT MANAGER: I. NELSEN

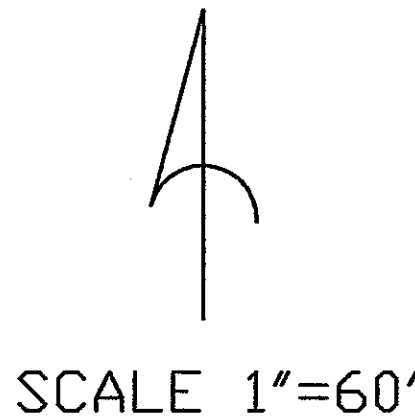
FILE NAME: C:\DAVETEMP\

SHEET NUMBER

C3, 0



- NOTE:
1. REMOVE EXISTING PRIVATE DRIVES TO HANSON ROAD AT COMPLETION OF CONSTRUCTION.
  2. ADJUST SANITARY MANHOLES SUCH THAT RIM EL IS 22.5'. PROVIDE INTERNAL CHIMNEY SEALS PER PLATE #5.0.4 IN THE MADISON STANDARD SPECIFICATIONS.



**AS BUILT**





PROJECT NAME:



SHEET TITLE:  
 ENLARGED SITE PLAN - SHT 2

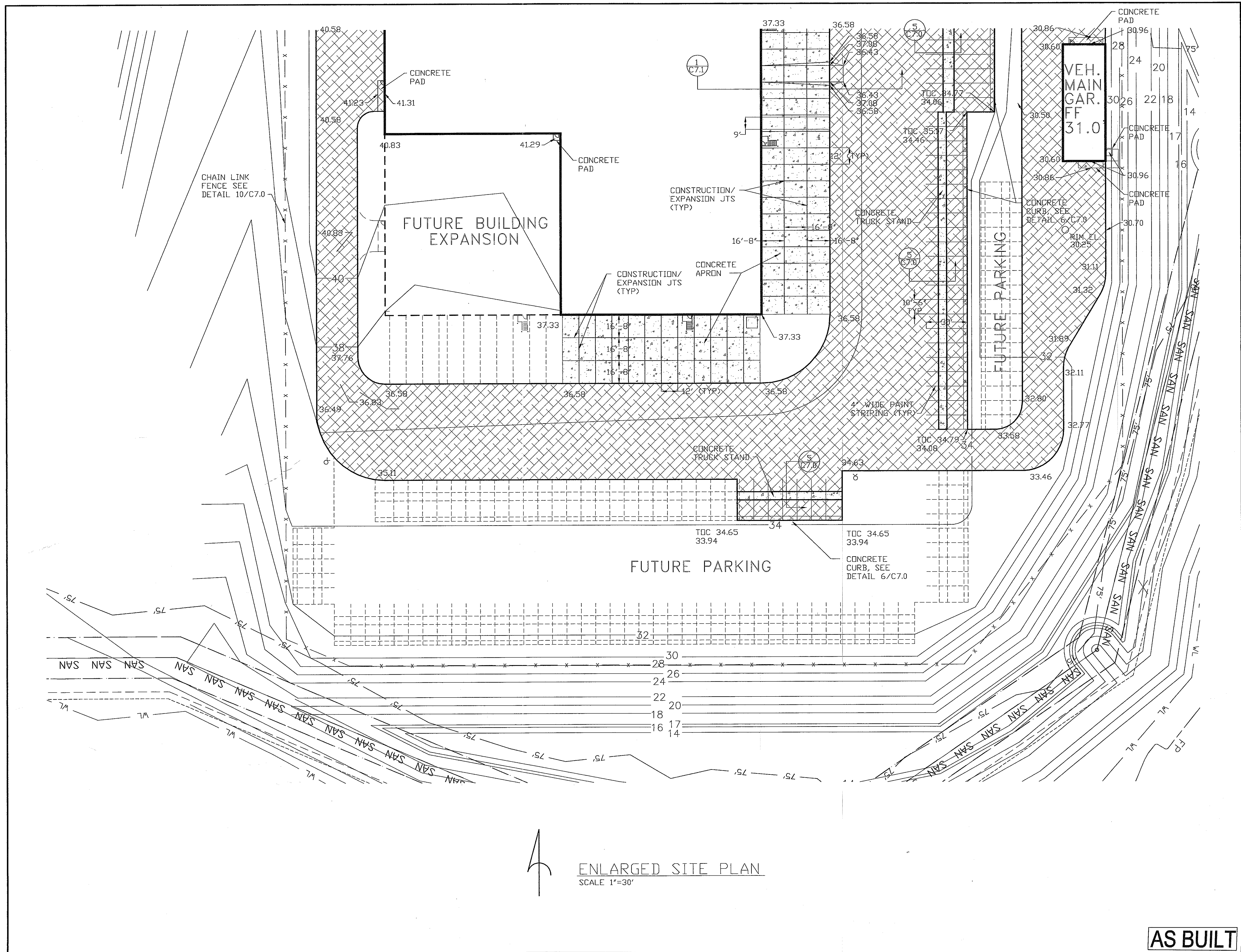
NO.	DATE	REVISIONS	BY

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

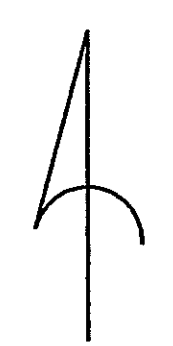
SHEET NUMBER

**AS BUILT**

C3.2



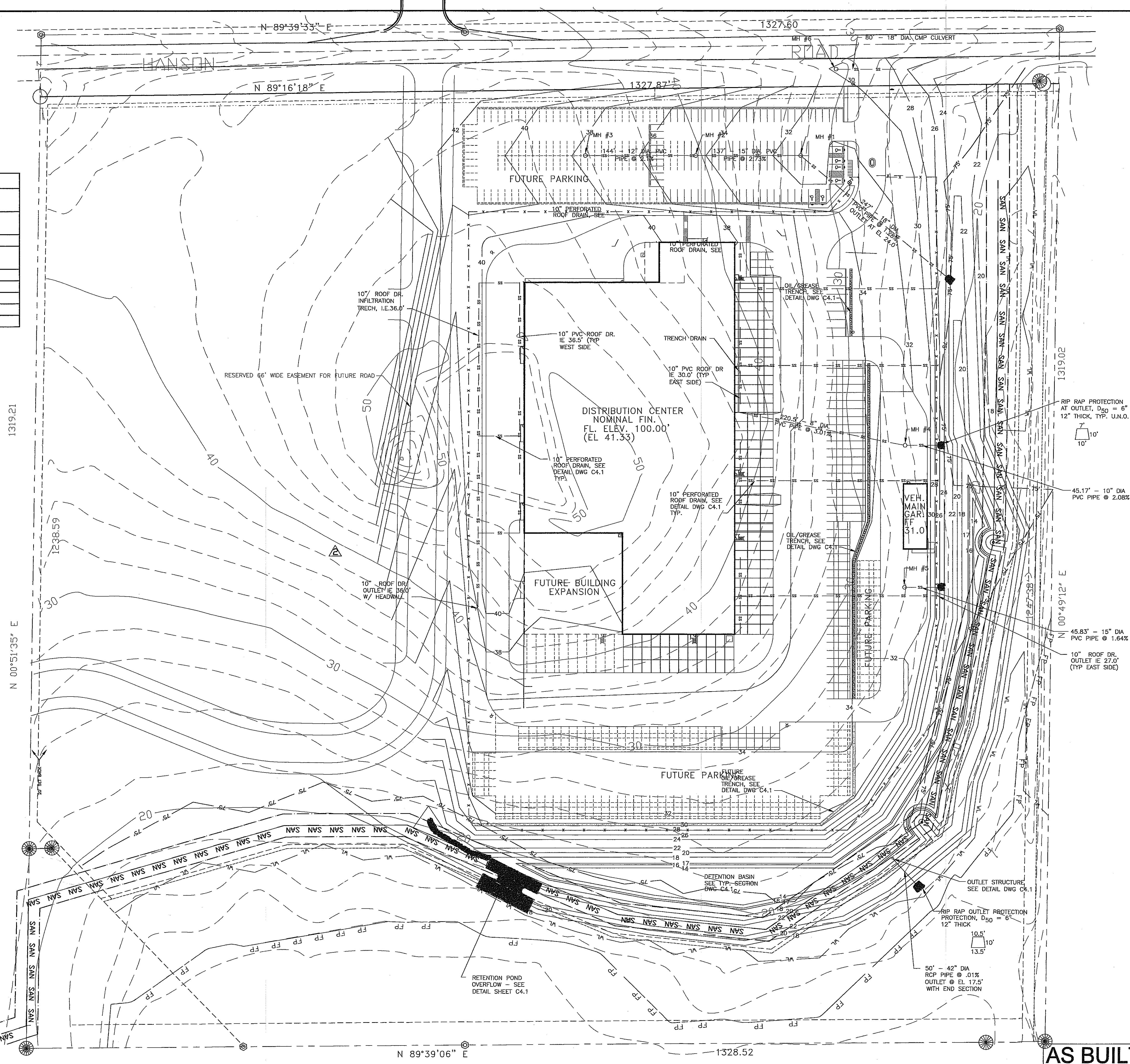
ENLARGED SITE PLAN  
 SCALE 1"=30'



STORMWATER STRUCTURE TABLE

STRUCTURE NO.	RIM EL.	INVERT EL.	COMMENTS
MH #1	31.0'	27.15' E 27.35' W	OIL/GREASE BASKET *
MH #2	34.3'	31.05' E 31.25' W	OIL/GREASE BASKET *
MH #3	37.6'	34.35' E	OIL/GREASE BASKET *
MH #4	30.25'	26.94' E 27.07' W	
TRENCH DRAIN	37.31'	33.72' E	
MH #5	30.25'	26.75' E	
OUTLET STRUC.	22.0'	17.5' S	
MH #6	29.0'	26.33' E	

\* OIL/GREASE FILTER BASKET BY HYDRO KLEEN OR EQUAL



PROJECT NAME:



SHEET TITLE:  
STORM SEWER PLAN

NO.	DATE	REVISIONS	BY
△	4-7-04	DEL GH & ADD ISLAND	DAN
△	10-23-03	ENT ROAD & VAR. MOD.	DAN
△	9-30-03	ROOF DRAIN MOD.	DAN

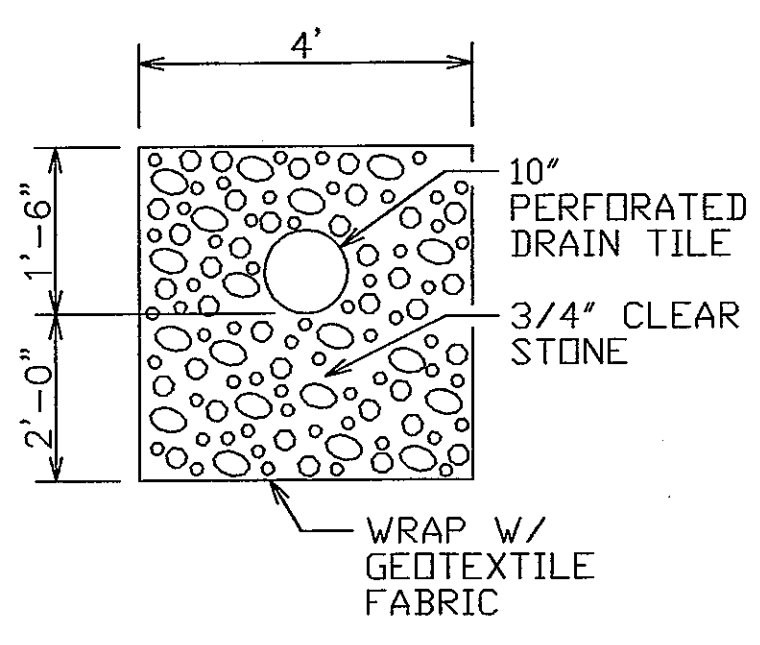
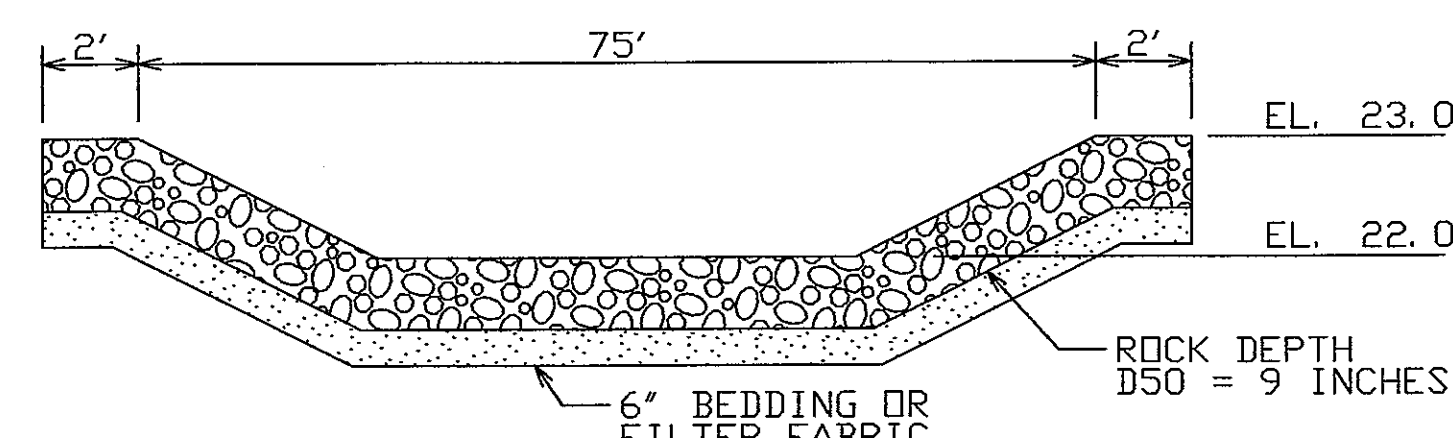
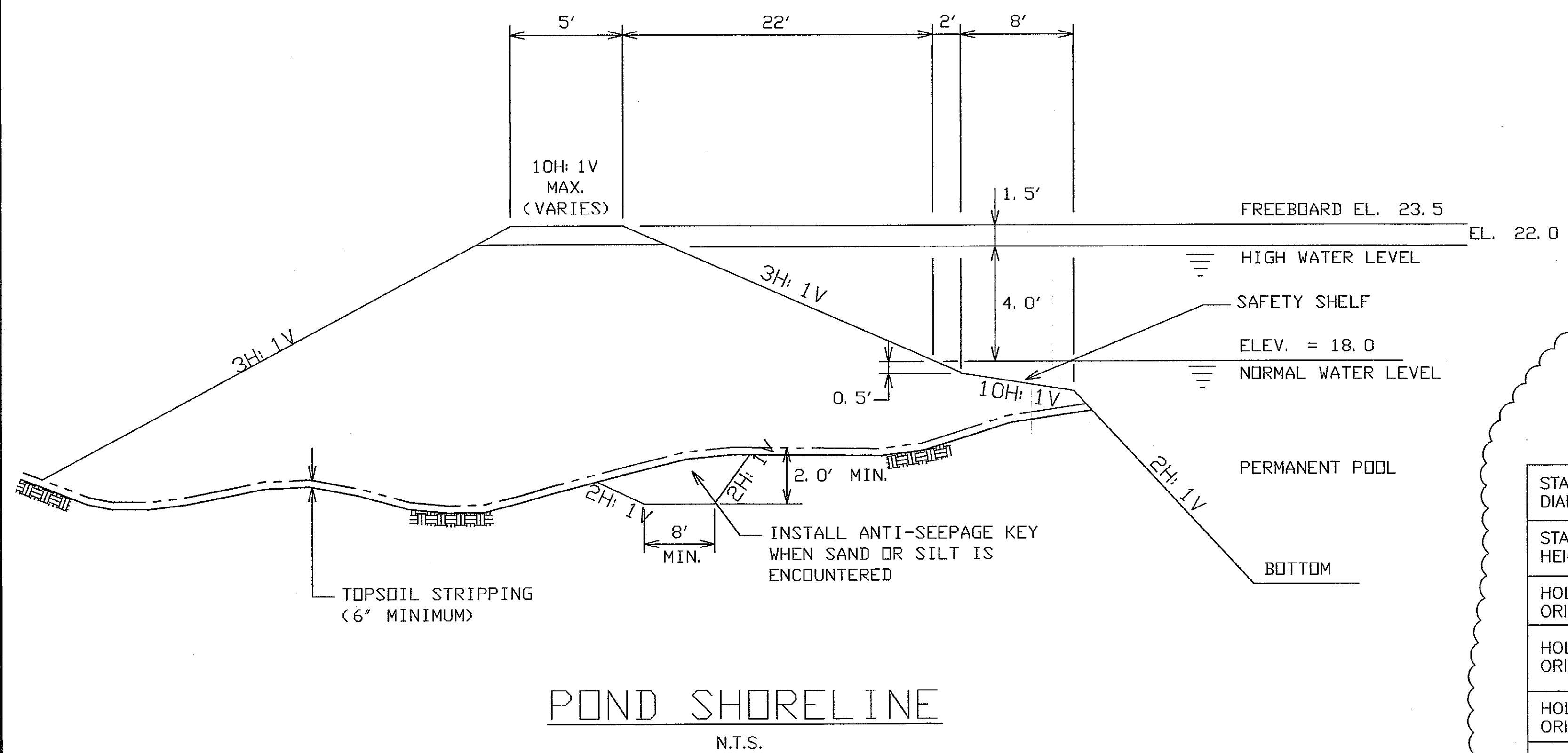
PROJECT NUMBER:  
DATE: 9-24-03  
DRAWN BY: DAN  
CHECKED BY: D. NELSEN  
PROJECT MANAGER: D. NELSEN  
FILE NAME: C:\DAVETEMP\

SHEET NUMBER

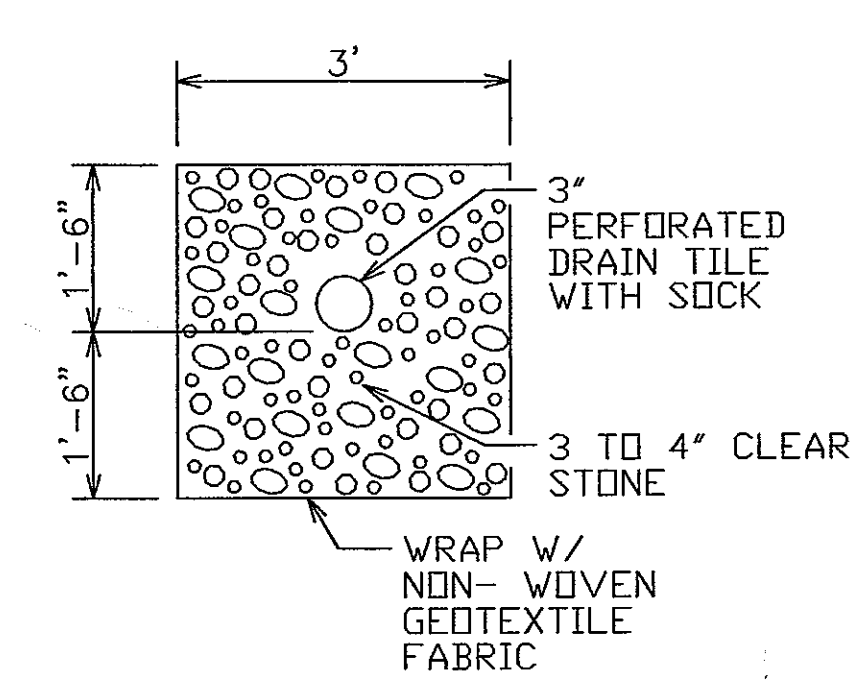
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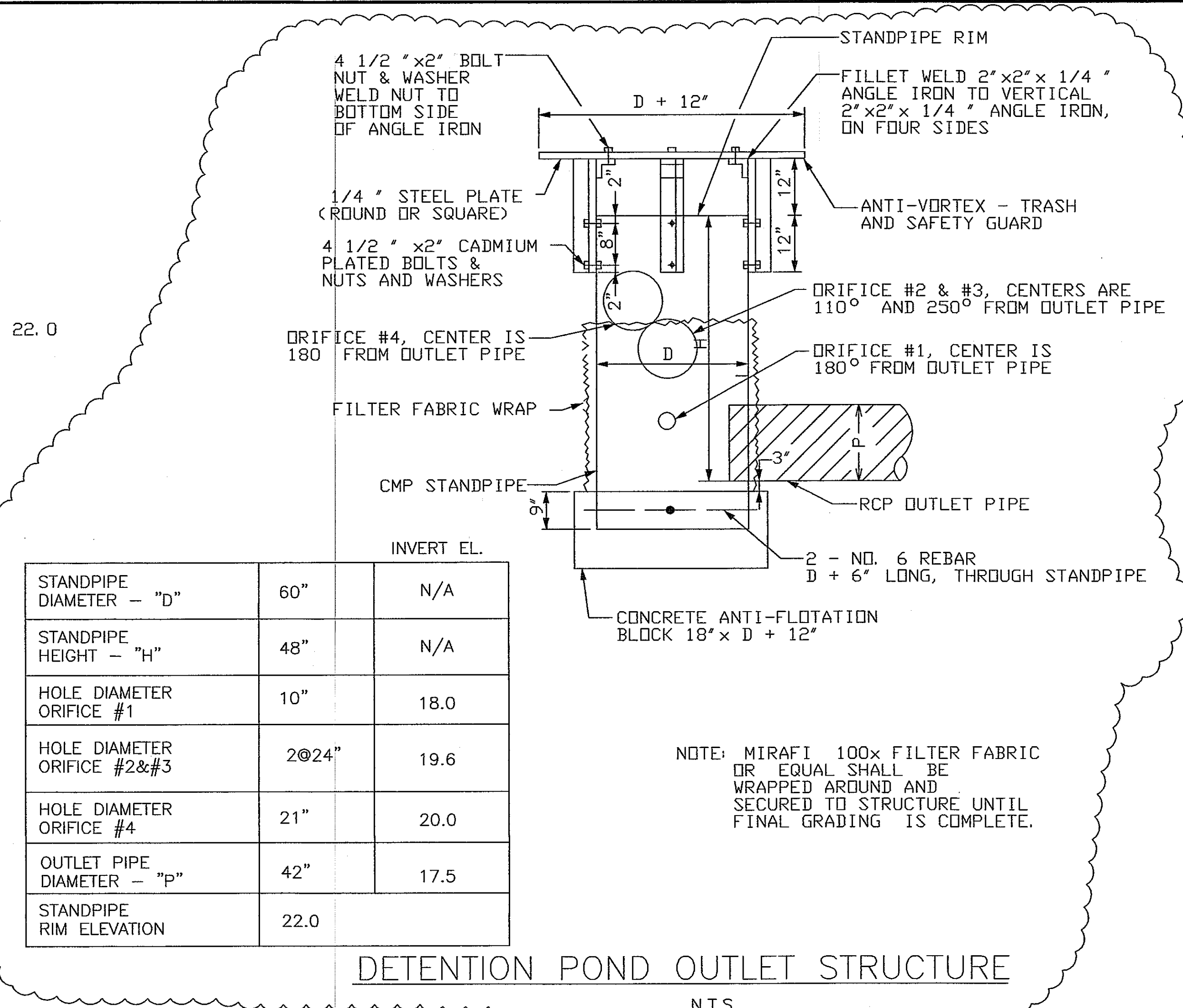




10" PERFORATED ROOF DRAIN  
N.T.S.

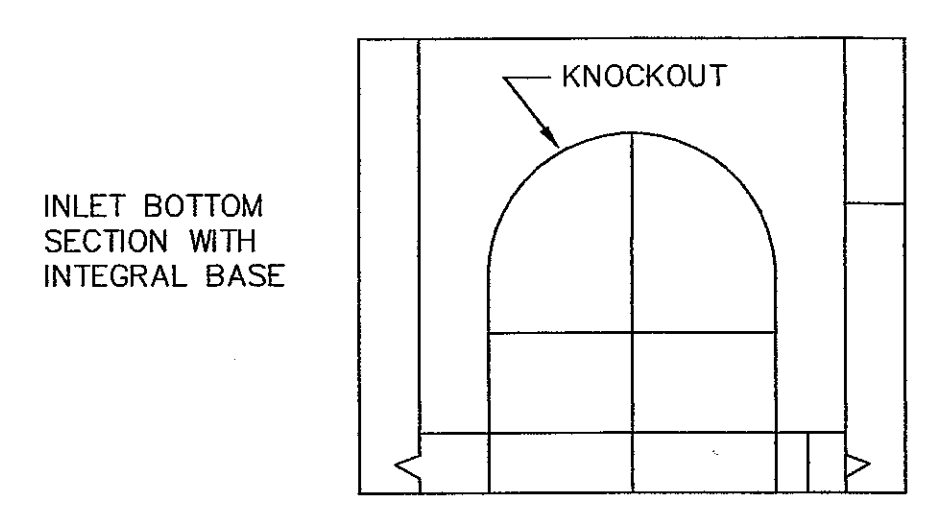
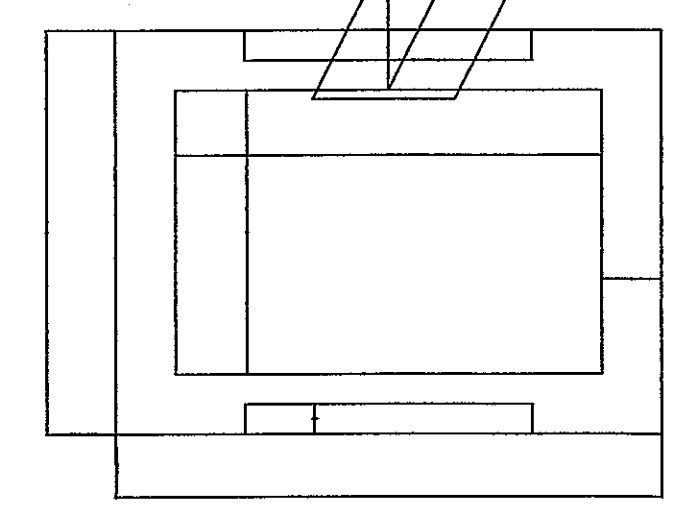
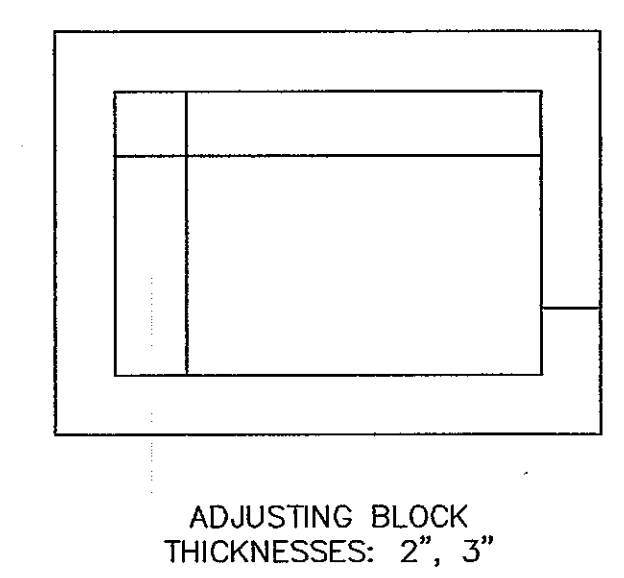


TYPICAL OIL/GREASE TRENCH DETAIL  
N.T.S.



	INVERT EL.	
STANDPIPE DIAMETER - "D"	60"	N/A
STANDPIPE HEIGHT - "H"	48"	N/A
HOLE DIAMETER ORIFICE #1	10"	18.0
HOLE DIAMETER ORIFICE #2&#3	2@24"	19.6
HOLE DIAMETER ORIFICE #4	21"	20.0
OUTLET PIPE DIAMETER - "P"	42"	17.5
STANDPIPE RIM ELEVATION	22.0	

MANDREL H x W	MIN. HT W/BASE	MAX. PIPE DIAMETER	MAXIMUM SKEW
23" x 18"	2'-0"	12" RCP	15'
28" x 24"	2'-6"	12" RCP	35'
"	"	15" RCP	25'
30" x 24"	2'-8"	12" RCP	35'
"	"	15" RCP	25'
"	"	18" RCP	5'
30" x 30"	2'-8"	12" RCP	45'
3' SIDE ONLY	"	15" RCP	40'
"	"	18" RCP	30'
34" x 32"	3'-0"	12" RCP	50'
3' SIDE ONLY	"	15" RCP	40'
"	"	18" RCP	35'
"	"	21" RCP	25'
38" x 34"	3'-4"	12" RCP	50'
3' SIDE ONLY	"	15" RCP	45'
"	"	18" RCP	35'
"	"	21" RCP	30'
"	"	24" RCP	20'



PRECAST REINFORCED CONCRETE INLET BOX MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS

UNITS ARE DESIGNATED AS TYPE 3 INLETS ON WISCONSIN D.O.T. PLANS

FOR DEPTHS EXCEEDING 4'-7", RISERS WITH TONGUE AND GROOVE JOINTS ARE AVAILABLE

INLET JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 AS MANUFACTURED BY CONCRETE SEALANTS INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990

EACH INLET BOTTOM SECTION W/INTEGRAL BASE IS CUSTOM MADE FOR EACH APPLICATION W/KNOCKOUTS PROVIDED WHERE NEEDED

MADISON CONCRETE PIPE, INC.		
3725 Lexington Ave. Madison, WI 53714-1288		
Ph: (608)244-1381		Fax: (608)244-0656
2' x 3' PRECAST INLET		
DRAWN BY RWM	SCALE NONE	MATERIAL RCP
CHKD	DATE 1/2/01	DRAWING MCP_2x3

PROJECT NAME:  
**FedEx Ground** 3901 HANSON ROAD MADISON, WISCONSIN

SHEET TITLE:  
 STORM WATER DETAILS

10-23-03	REV. OUTLET STRUCT.	DAN
9-29-03	REV. OUTLET STRUCT.	DAN
NO. DATE	REVISIONS	BY

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVTEMP\

**AS BUILT**

C4. 1

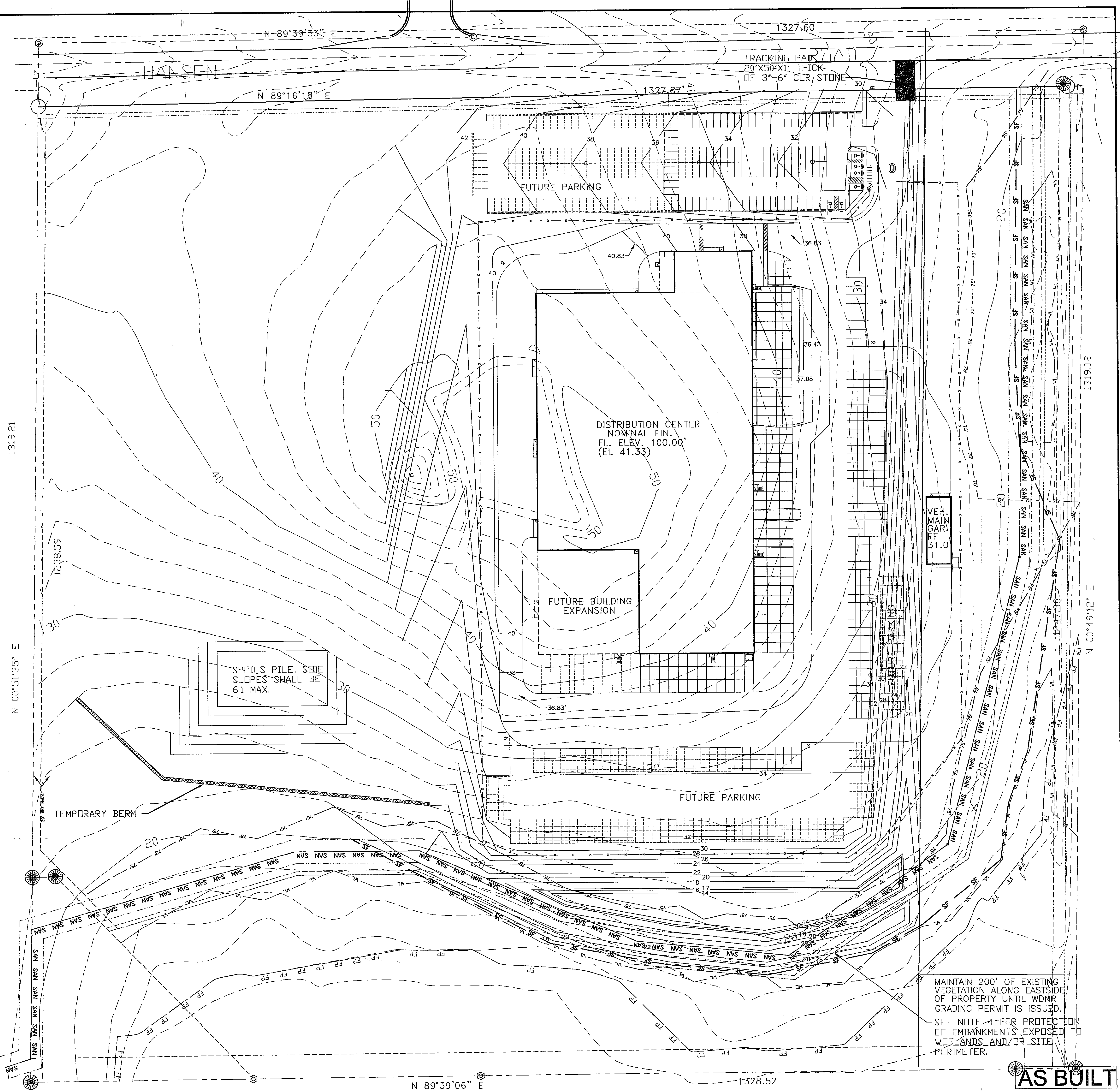
**EROSION CONTROL PLAN & SCHEDULE:**

1. PHASE 1 GRADING IS EXPECTED TO BE BEGIN IN LATE AUGUST WITH CONSTRUCTION OF THE PERIMETER BERMS AND CONSTRUCTION OF THE SITE RETENTION POND THE FIRST ITEMS OF CONSTRUCTION. THE RETENTION BASIN WILL SERVE AS A KEY ELEMENT OF THE EROSION CONTROL FOR THE SITE AND WILL TRAP SEDIMENT DURING THE CONSTRUCTION PHASE (SEE NOTE 4). THE PERMANENT DETENTION BASIN, ALONG WITH THE PERMANENT DISCHARGE STRUCTURE, WILL BE COMPLETED BY SEPTEMBER 26, 2003. PARKING AREAS WILL BE ROCKED BY NOVEMBER 8, 2003. DISTURBED AREAS AND STOCKPILES WILL BE SEEDED AND MULCHED BY OCTOBER 19, 2003. THE BUILDING WILL BE COMPLETED BY JUNE 1, 2004 AND FINAL LANDSCAPING (TREES, BUSHES AND SHRUBS) WILL BE COMPLETED BY JUNE 15, 2004. THE ROOF DRAIN INSTALLATION TRENCH AND OIL/GREASE TRENCH WILL BE COMPLETED DURING THE CONSTRUCTION OF THE PARKING LOT AND LOADING DOCK AREAS.
2. AT THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SILT FENCE, TEMPORARY BERMS AND THE TRACKING PAD AS SHOWN ON THE DRAWINGS. THE TRACKING PAD SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD ONTO THE PUBLIC STREETS.
3. THE SILT FENCE AND TEMPORARY BERMS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF GRADING AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE SILT FENCE SHALL BE REMOVED UPON STABILIZATION OF THE ADJACENT AREAS.
4. SLOPES EXPOSED TO THE WETLANDS OR SITE PERIMETER SHALL BE COMPLETED WITHIN TWO WEEKS OF THE START OF CONSTRUCTION. UPON COMPLETION OF THE ROUGH GRADING OF THESE EMBANKMENTS, THE SLOPES WILL BE SPRAYED WITH POLYMER TO PREVENT EROSION OFFSITE. THE SLOPES TREATED WITH POLYMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT FOR EVIDENCE OF RILL AND GULLY FORMATION. UPON COMPLETION OF GRADING THE EMBANKMENTS SHALL BE FINE GRADED, SEEDED AND MULCHED. THE EARTHWORK CONTRACTOR SHALL DOCUMENT THE FOLLOWING AS IT RELATES TO THE POLYMER APPLICATION:  
 DATE OF APPLICATION  
 RATE OF APPLICATION  
 TYPE OF POLYMER  
 SPECIFIC AREAS OF SITE THAT HAD POLYMER APPLIED  
 DATES OF INSPECTION  
 DATE OF CONSTRUCTION ON THE APPLICATION SITE  
 DATES AND AMOUNTS OF RAINFALL ON THE SITE
5. TEMPORARY INLET FILTERS ARE TO BE INSTALLED IN STORM STRUCTURES AS THE STRUCTURES ARE PLACED. THE FILTERS ARE TO BE MAINTAINED UNTIL THE COMMENCEMENT OF CURB & GUTTER AND/OR PAVEMENT.
6. RIPRAP WITH GEOTEXTILE FABRIC IS TO BE PLACED AT THE END OF EVERY STORM OUTFALL AS SHOWN.
7. ALL AREAS DESIGNATED AS GRASSED AREAS SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH. LAWN AREAS ARE TO RECEIVE WDOT'S SEED MIXTURE NO. 40 AT A RATE OF 2 LBS PER 1,000 SF. STEEP SLOPES ARE TO RECEIVE WDOT'S SEED MIXTURE NO. 10 AT A RATE OF 1.5 LBS PER 100 SF. FERTILIZER SHALL BE WDOT'S TYPE A AND SHOULD BE APPLIED AT A RATE OF 60 LBS/SF. MULCH SHALL BE STRAW OR HAY AND APPLIED AT A RATE OF 1.5 TO 3 TONS/ACRE AND CRIMPED INTO THE SOIL.
8. EROSION CONTROL IS THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED PLAN SHALL BE THE MINIMUM PRECAUTIONS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES.
9. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE CITY INSPECTOR SHALL BE INSTALLED WITHIN 24 HOURS.
10. AT THE END OF THE ESTABLISHMENT PERIOD FOR THE SEEDED AND MULCHED AREAS AND CONSTRUCTION, THE BASIN SHALL BE CLEANED OF ALL CONSTRUCTION SEDIMENT.

**LEGEND**

- SF — SILT FENCE
- FP — FLOOD PLAIN
- WL — WETLANDS
- 75' — 75' WETLAND SETBACK
- SAN SAN — SANITARY SEWER
- — — — — PROPERTY LINE

SCALE 1"=60'



MAINTAIN 200' OF EXISTING VEGETATION ALONG EASTSIDE OF PROPERTY UNTIL WDNR GRADING PERMIT IS ISSUED.  
 SEE NOTE 4 FOR PROTECTION OF EMBANKMENTS EXPOSED TO WETLANDS AND/OR SITE PERIMETER.

PROJECT NAME:



SHEET TITLE:  
 PHASE 1 EROSION CONTROL PLAN

NO.	DATE	REVISIONS	BY
4-7-04		DEL GH & ADD ISLAND DAN	

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

SHEET NUMBER

C5.0

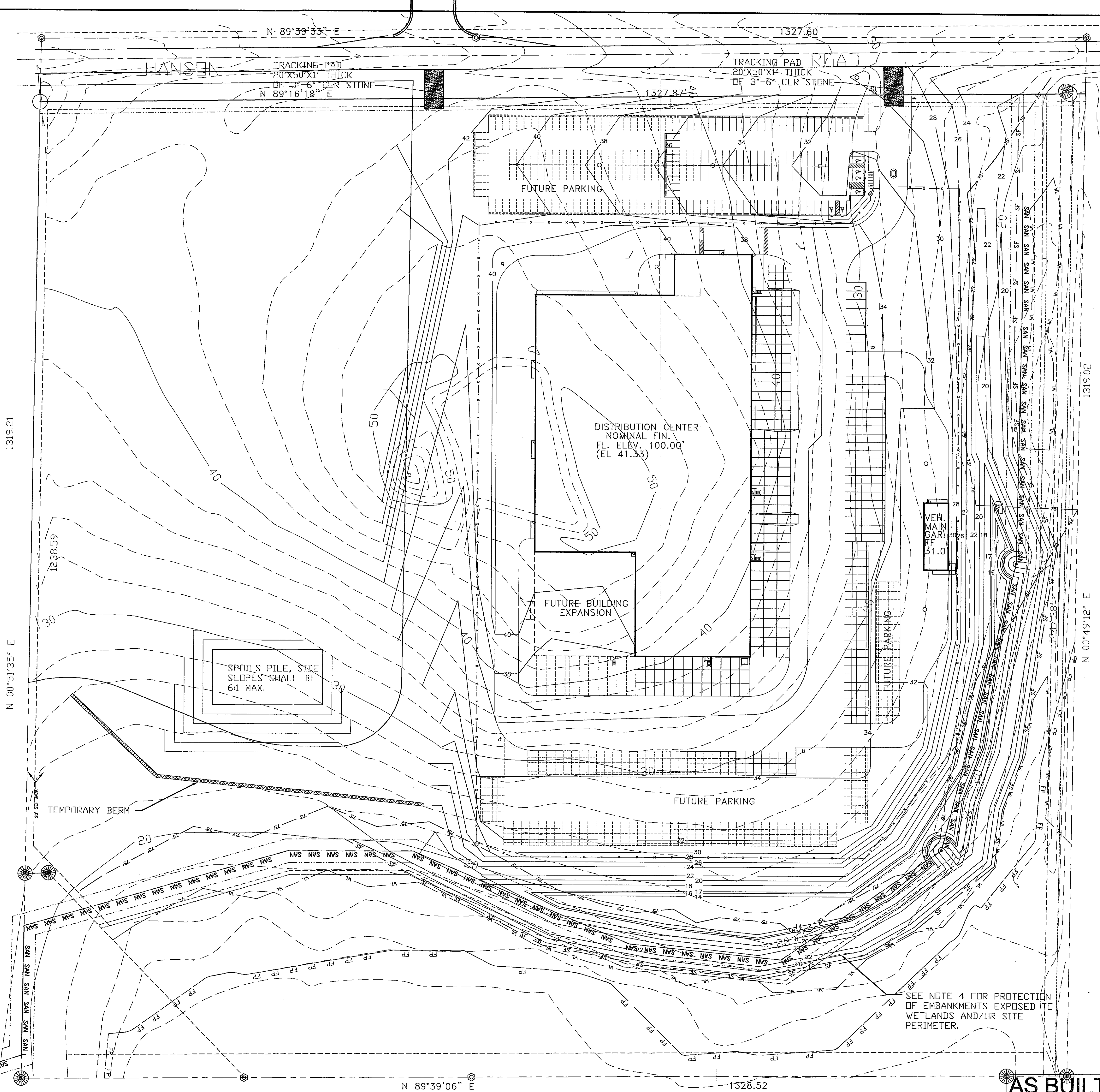
**AS BUILT**



**EROSION CONTROL PLAN & SCHEDULE:**

1. PHASE 2 GRADING IS EXPECTED TO BE BEGIN IN LATE SEPTEMBER (AFTER THE WDNR GRADING PERMIT IS ISSUED) WITH CONSTRUCTION OF THE PERIMETER BERMS AND COMPLETION OF THE SITE RETENTION POND THE FIRST ITEMS OF CONSTRUCTION. THE RETENTION BASIN WILL CONTINUE TO SERVE AS A KEY ELEMENT OF THE EROSION CONTROL FOR THIS PHASE OF CONSTRUCTION OF THE SITE AND WILL TRAP SEDIMENT DURING THE CONSTRUCTION (SEE NOTE 4). PHASE 2 OF THE PERMANENT DETENTION BASIN WILL BE COMPLETED BY OCTOBER 31, 2003. PAVED AREAS IN PHASE 2 WILL BE ROCKED BY NOVEMBER 20, 2003. DISTURBED AREAS AND STOCKPILES WILL BE SEEDED AND MULCHED BY NOVEMBER 15, 2003. THE BUILDING WILL BE COMPLETED BY JUNE 1, 2004 AND FINAL LANDSCAPING (TREES, BUSHES AND SHRUBS) WILL BE COMPLETED BY JUNE 15, 2004. THE ROOF DRAIN INSTALLATION TRENCH AND OIL/GREASE TRENCH WILL BE COMPLETED DURING THE CONSTRUCTION OF THE PARKING LOT AND LOADING DOCK AREAS.
2. AT THE BEGINNING OF PHASE 2 CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SILT FENCE AND TEMPORARY BERMS AS SHOWN ON THE DRAWINGS. THE TRACKING PAD INSTALLED IN PHASE 1 WILL CONTINUE TO BE MAINTAINED IN PHASE 2.
3. THE SILT FENCE SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF GRADING AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE SILT FENCE SHALL BE REMOVED UPON STABILIZATION OF THE ADJACENT AREAS.
4. SLOPES EXPOSED TO THE WETLANDS OR SITE PERIMETER SHALL BE COMPLETED WITHIN TWO WEEKS OF THE START OF PHASE 2 CONSTRUCTION. UPON COMPLETION OF THE ROUGH GRADING OF THESE EMBANKMENTS, THE SLOPES WILL BE SPRAYED WITH POLYMER TO PREVENT EROSION OFFSITE. THE SLOPES TREATED WITH POLYMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT FOR EVIDENCE OF RILL AND GULLY FORMATION. UPON COMPLETION OF GRADING THE EMBANKMENTS SHALL BE FINE GRADED, SEEDED AND MULCHED. THE EARTHWORK CONTRACTOR SHALL DOCUMENT THE FOLLOWING AS IT RELATES TO THE POLYMER APPLICATION:  
 DATE OF APPLICATION  
 RATE OF APPLICATION  
 TYPE OF POLYMER  
 SPECIFIC AREAS OF SITE THAT HAD POLYMER APPLIED  
 DATES OF INSPECTION  
 DATE OF CONSTRUCTION ON THE APPLICATION SITE  
 DATES AND AMOUNTS OF RAINFALL ON THE SITE
5. TEMPORARY INLET FILTERS ARE TO BE INSTALLED IN STORM STRUCTURES AS THE STRUCTURES ARE PLACED. THE FILTERS ARE TO BE MAINTAINED UNTIL THE COMMENCEMENT OF CURB & GUTTER AND/OR PAVEMENT.
6. RIPRAP WITH GEOTEXTILE FABRIC IS TO BE PLACED AT THE END OF EVERY STORM OUTFALL AS SHOWN.
7. ALL AREAS DESIGNATED AS GRASSED AREAS SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH. LAWN AREAS ARE TO RECEIVE WDOT'S SEED MIXTURE NO. 40 AT A RATE OF 2 LBS PER 1,000 SF. STEEP SLOPES ARE TO RECEIVE WDOT'S SEED MIXTURE NO. 10 AT A RATE OF 1.5 LBS PER 100 SF. FERTILIZER SHALL BE WDOT'S TYPE A AND SHOULD BE APPLIED AT A RATE OF 60 LBS/SF. MULCH SHALL BE STRAW OR HAY AND APPLIED AT A RATE OF 1.5 TO 3 TONS/ACRE AND CRIMPED INTO THE SOIL.
8. EROSION CONTROL IS THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED PLAN SHALL BE THE MINIMUM PRECAUTIONS ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES.
9. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE CITY INSPECTOR SHALL BE INSTALLED WITHIN 24 HOURS.
10. AT THE END OF THE ESTABLISHMENT PERIOD FOR THE SEEDED AND MULCHED AREAS AND CONSTRUCTION, THE BASIN SHALL BE CLEANED OF ALL CONSTRUCTION SEDIMENT.

- LEGEND**
- SF — SILT FENCE
  - FP — FLOOD PLAIN
  - WL — WETLANDS
  - 75' — 75' WETLAND SETBACK
  - SAN — SANITARY SEWER
  - — — PROPERTY LINE



PROJECT NAME:  
**FedEx Ground**  
 3901 HANSON ROAD  
 MADISON, WISCONSIN

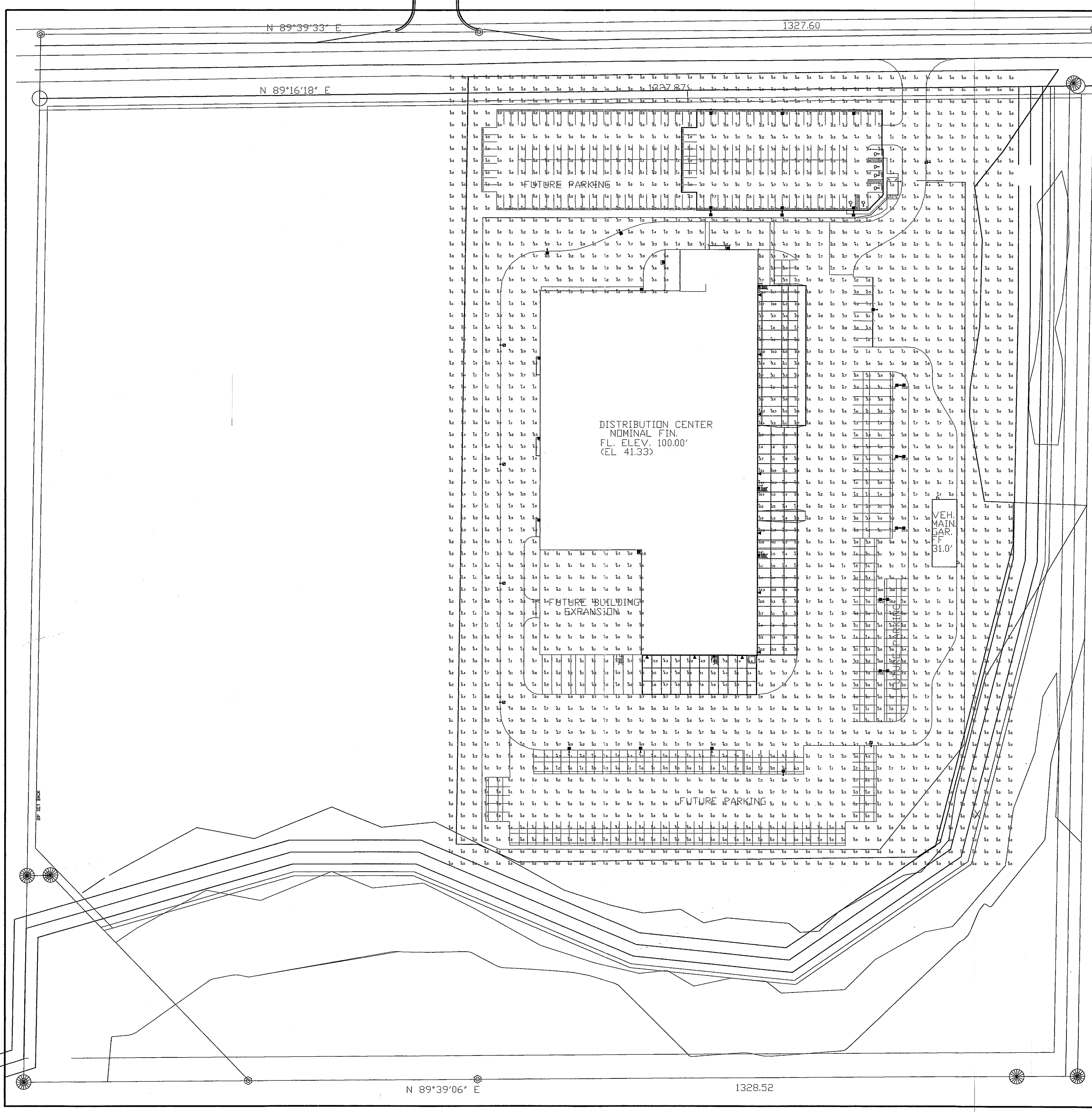
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 PHASE 2 EROSION CONTROL PLAN

NO.	DATE	REVISIONS	BY
4-7-04		DEL GH & ADD ISLAND DAN	
10-23-03		ENT ROAD & VAR. REV. DAN	

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

SHEET NUMBER  
**C5.1**

**AS BUILT**



**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
■	10	AC2540-M	SINGLE	51000	0.800	400W HPS
■	11	SE3510-M	SINGLE	9500	0.800	100W HPS
■	13	2 - AC2540-M	BACK-BACK	51000	0.800	400W HPS
■	6	PR2540-M	SINGLE	51000	0.800	400W HPS
■	10	ACV540-M	SINGLE	51000	0.800	400W HPS

(C) PS43051BZ - 30' x 4' SQ. STEEL POLE  
 (D) PS43052BZ - 30' x 4' SQ. STEEL POLE  
 AC/PR MOUNTING HEIGHT = 32' AFG  
 ACV MOUNTING HEIGHT = 25' AFG  
 SE MOUNTING HEIGHT = 12' AFG  
 PROPOSED POLES MEET 100 MPH WINDS

**Numeric Summary**

Label	Avg	Max	Min	Avg/Min	Max/Min
Grade	170	206	0.0	0.00	0.00
Parking Lot					
Iluminance Values(Fc)					
Average	=3.89				
Maximum	=15.3				
Minimum	=1.1				
Avg/Min Ratio	=3.54				
Max/Min Ratio	=13.91				
Dock Area					
Iluminance Values(Fc)					
Average	=5.61				
Maximum	=20.6				
Minimum	=1.4				
Avg/Min Ratio	=4.01				
Max/Min Ratio	=14.71				

SCALE 1"=60'

PROJECT NAME:  
**FedEx Ground** 3901 HANSON ROAD  
 MADISON, WISCONSIN

SHEET TITLE:  
 SITE LIGHTING LAYOUT

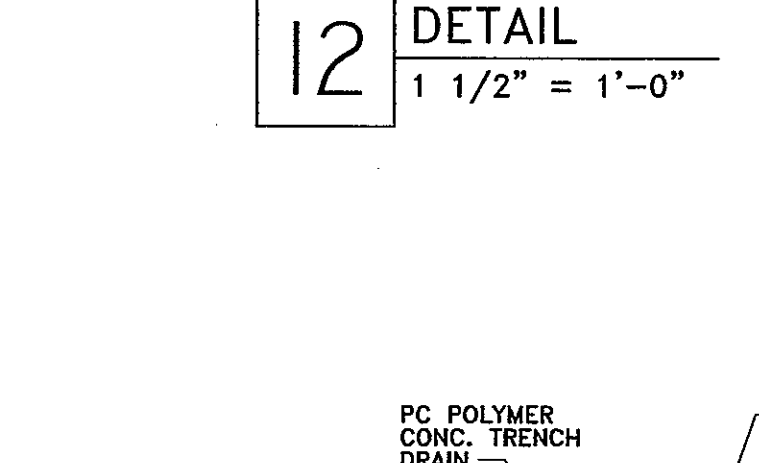
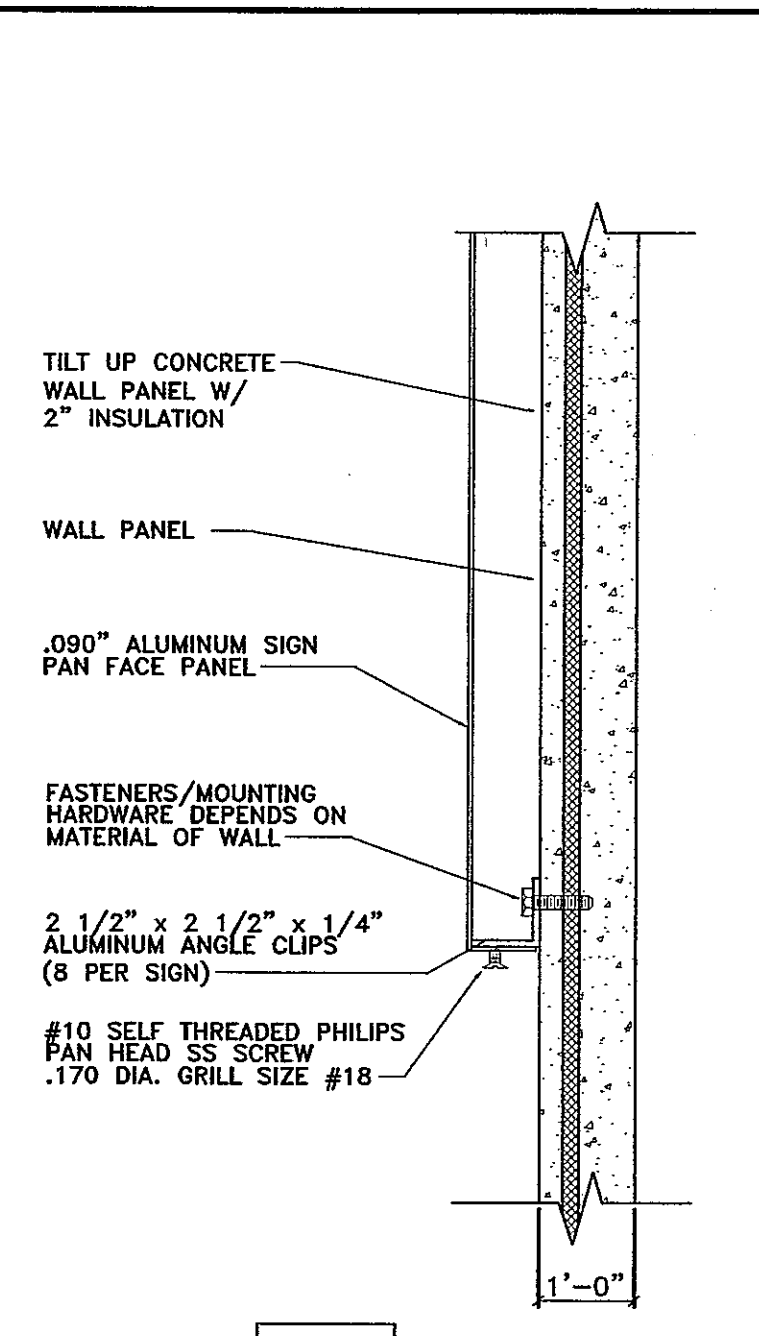
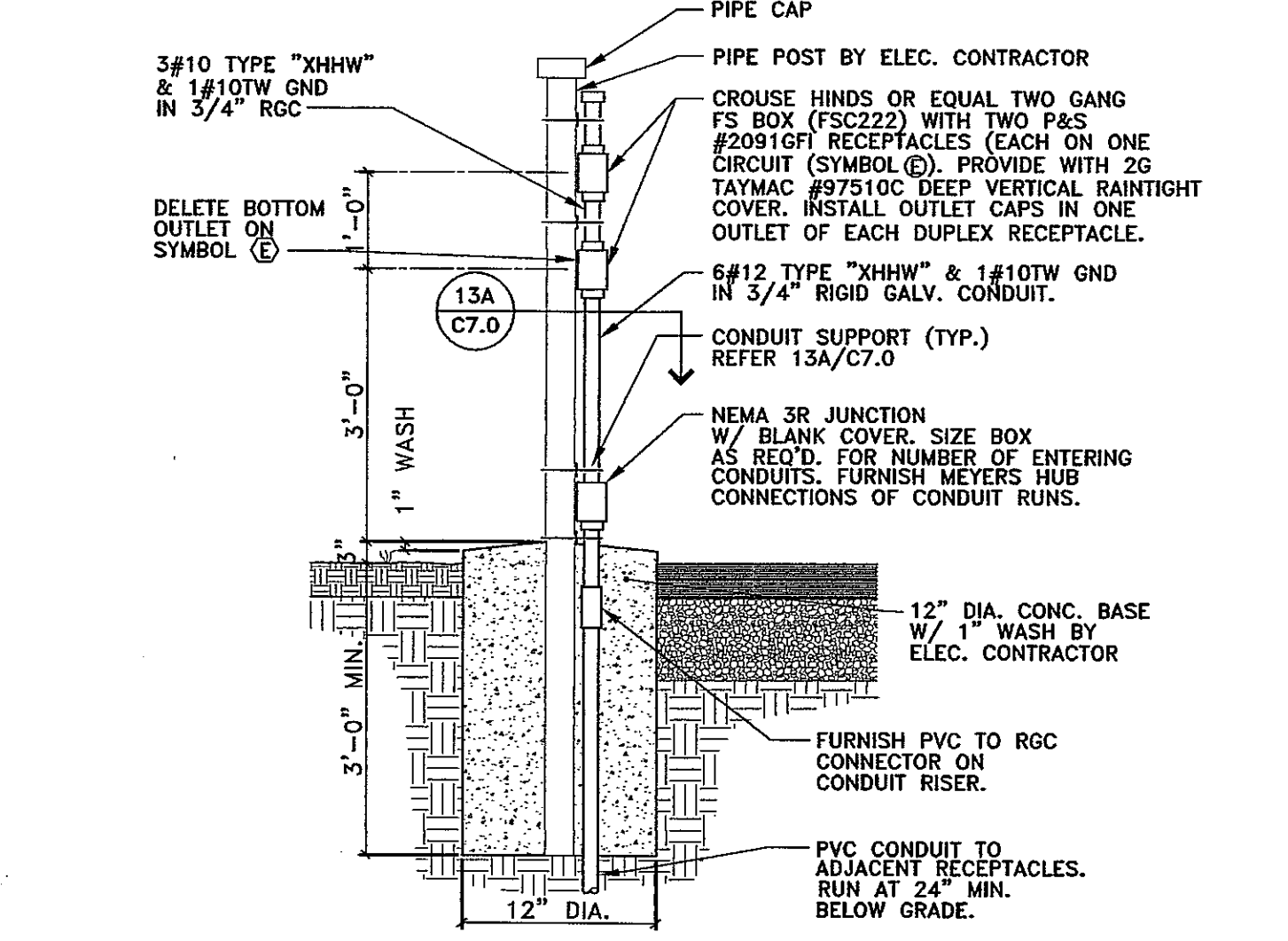
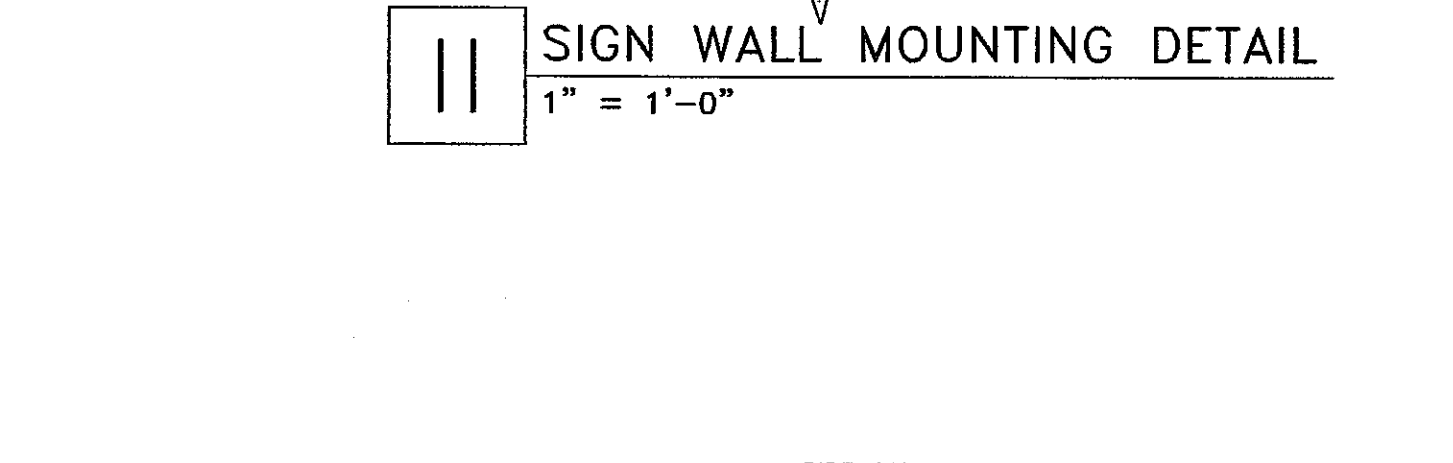
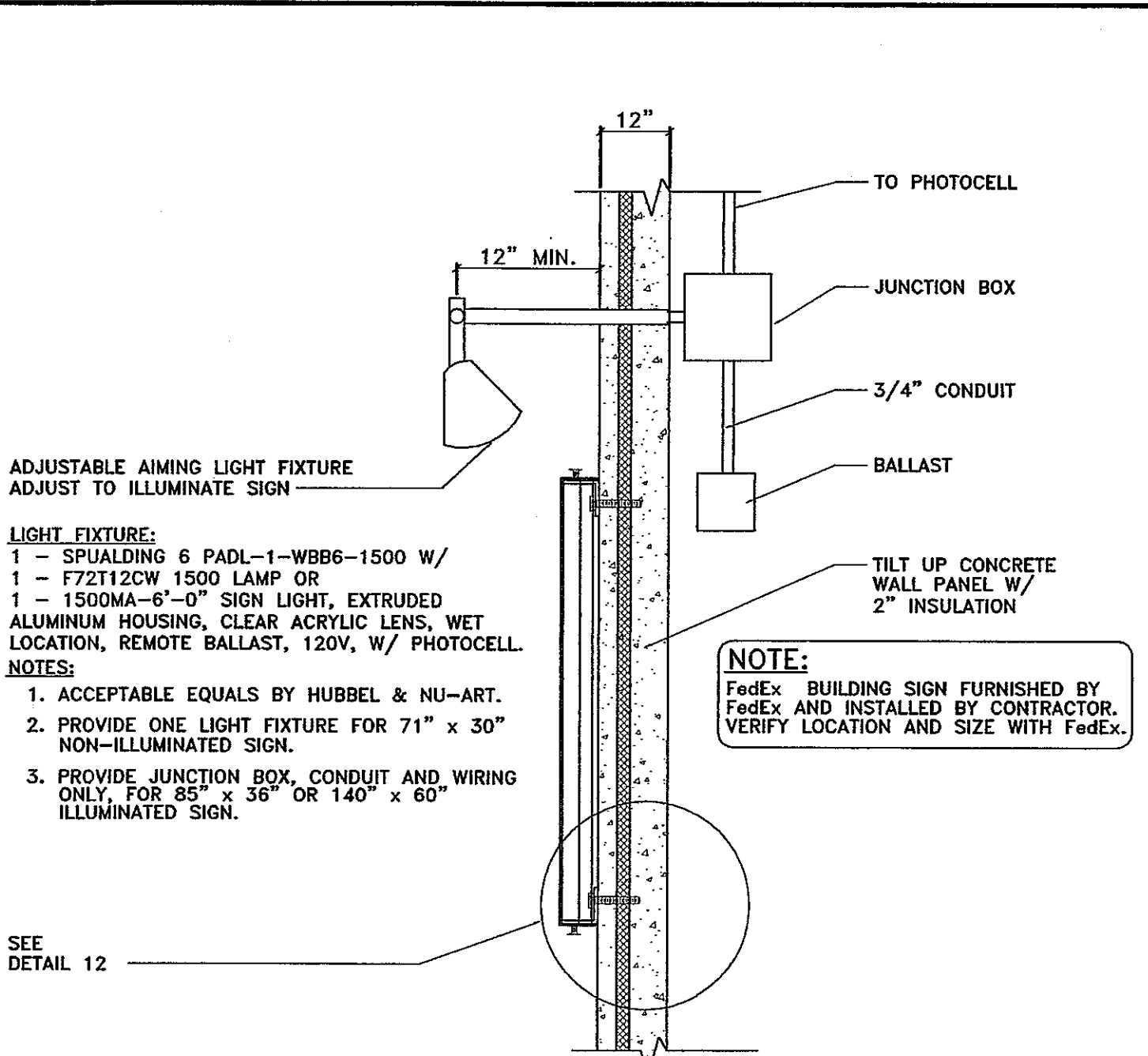
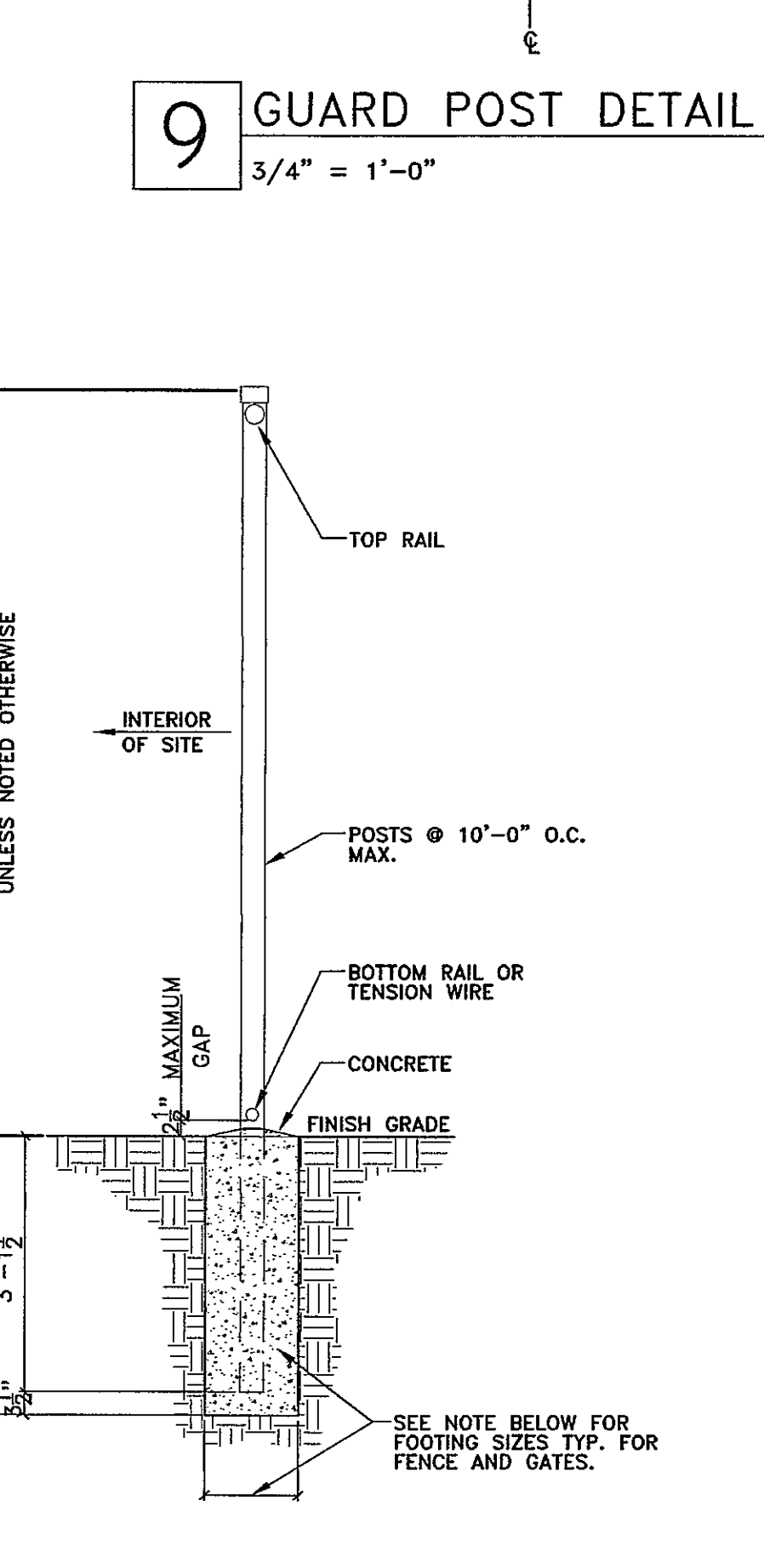
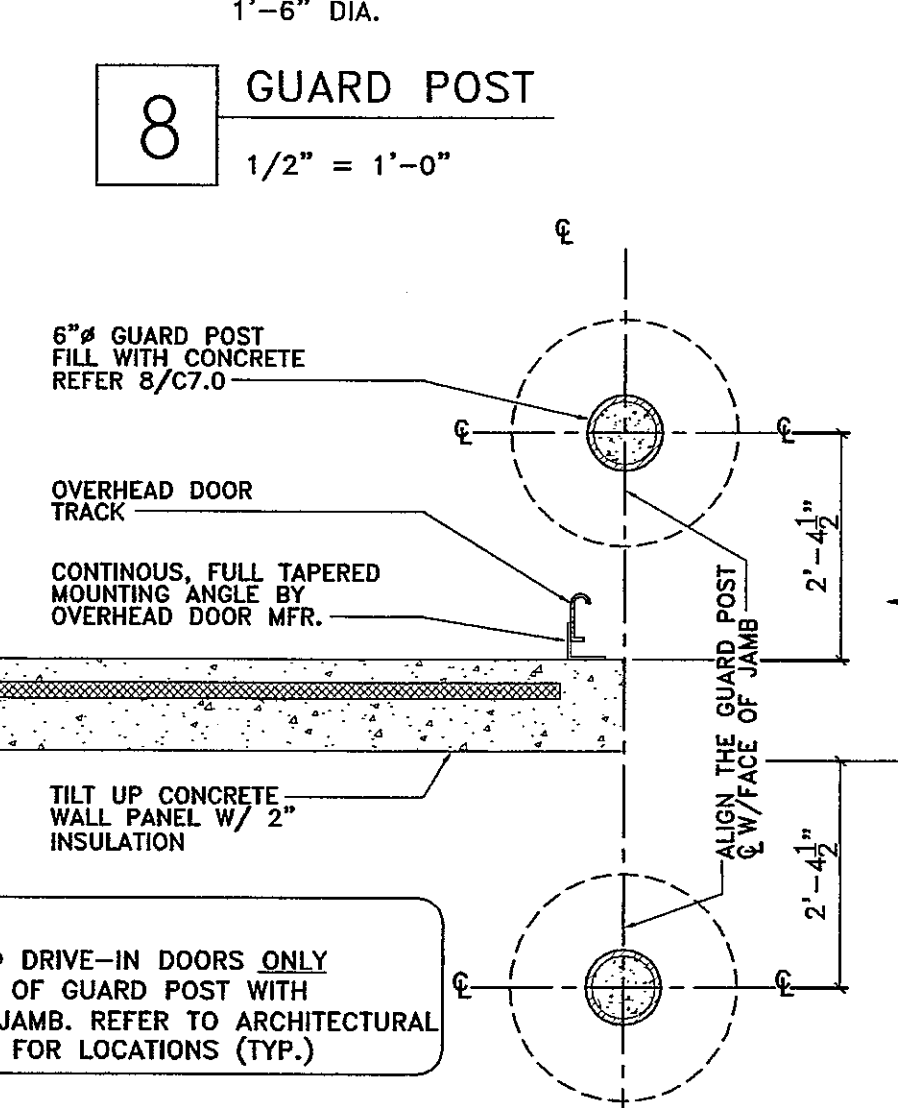
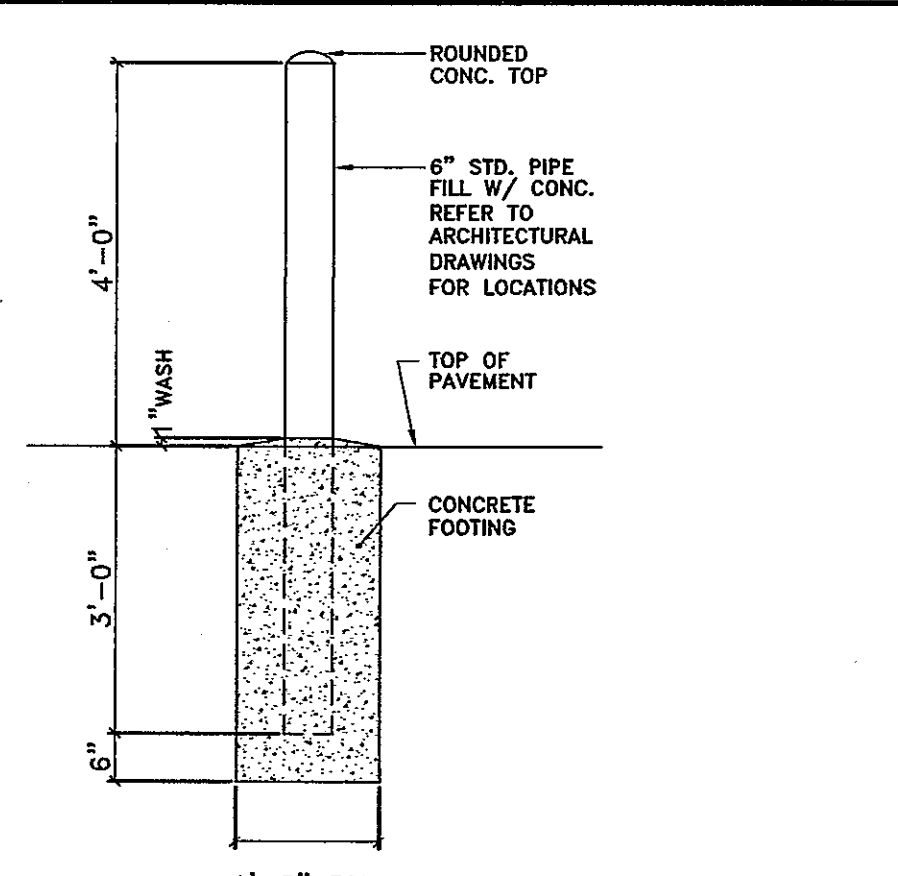
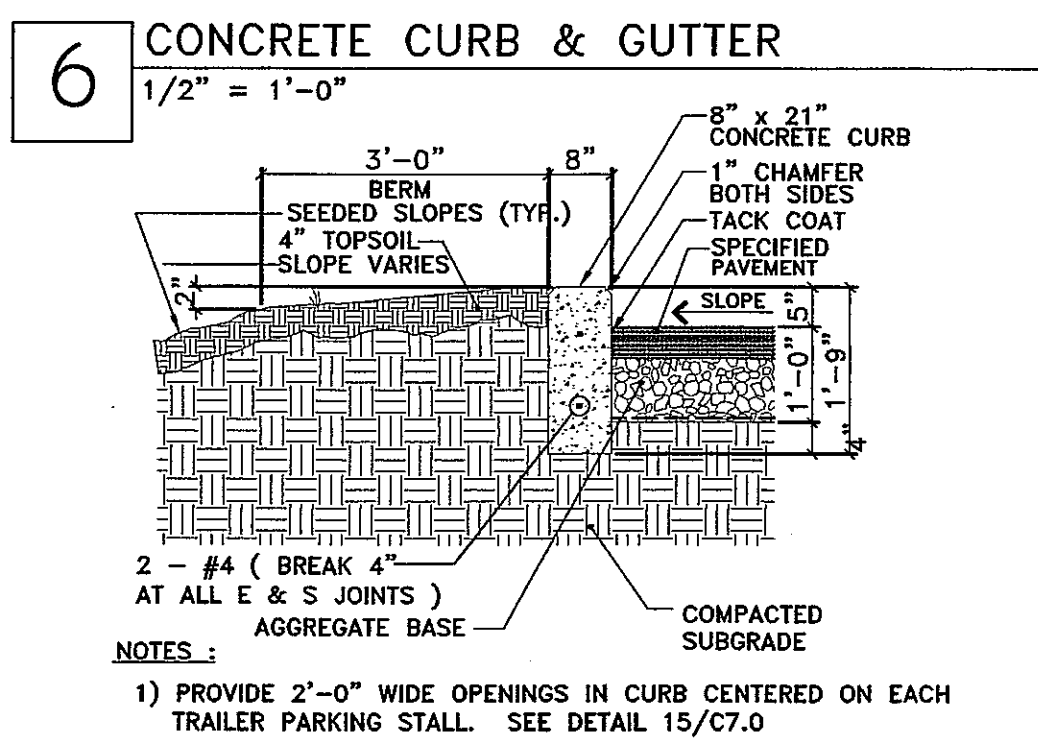
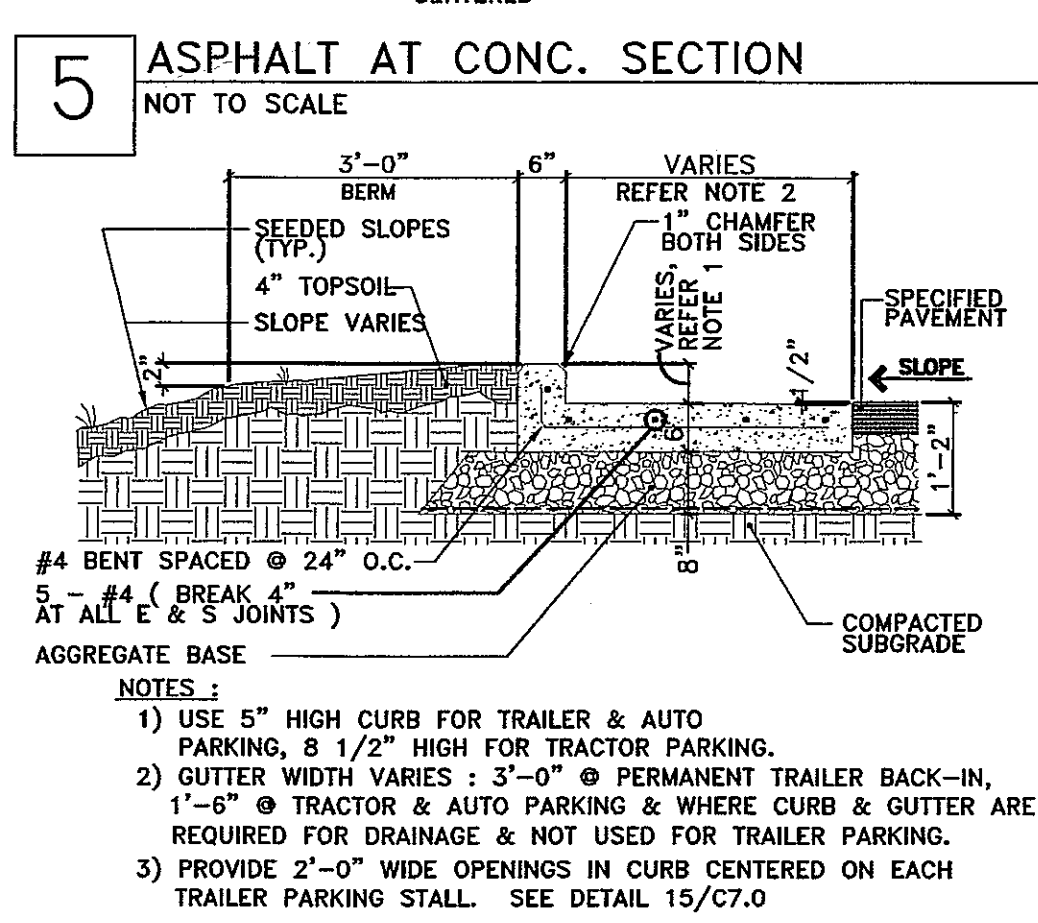
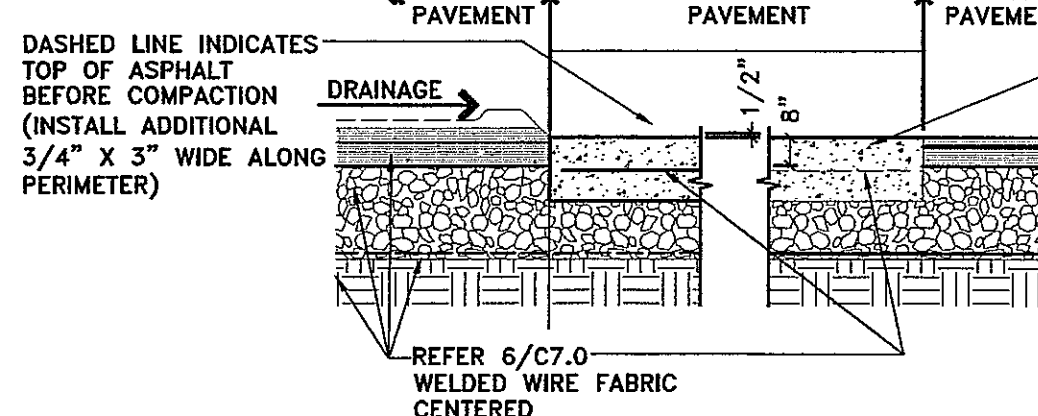
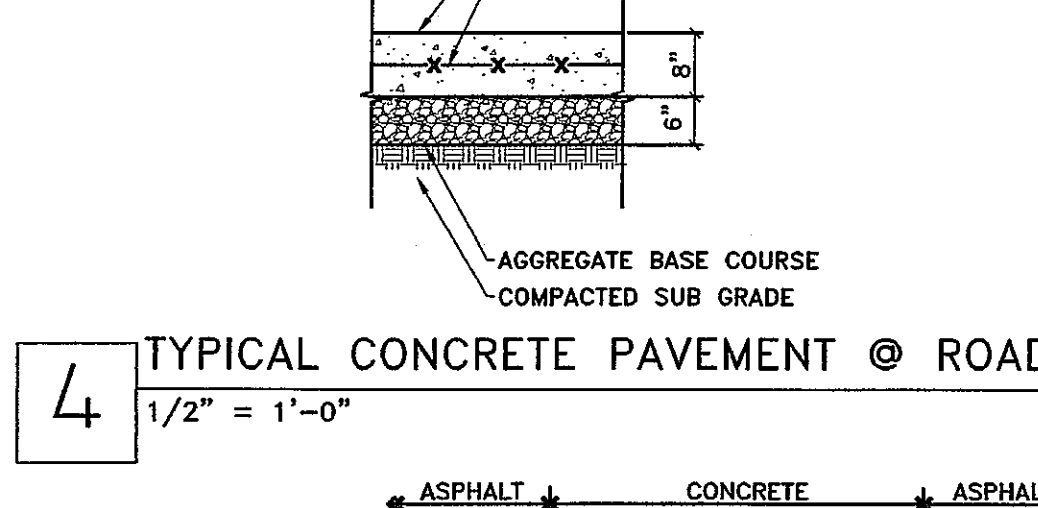
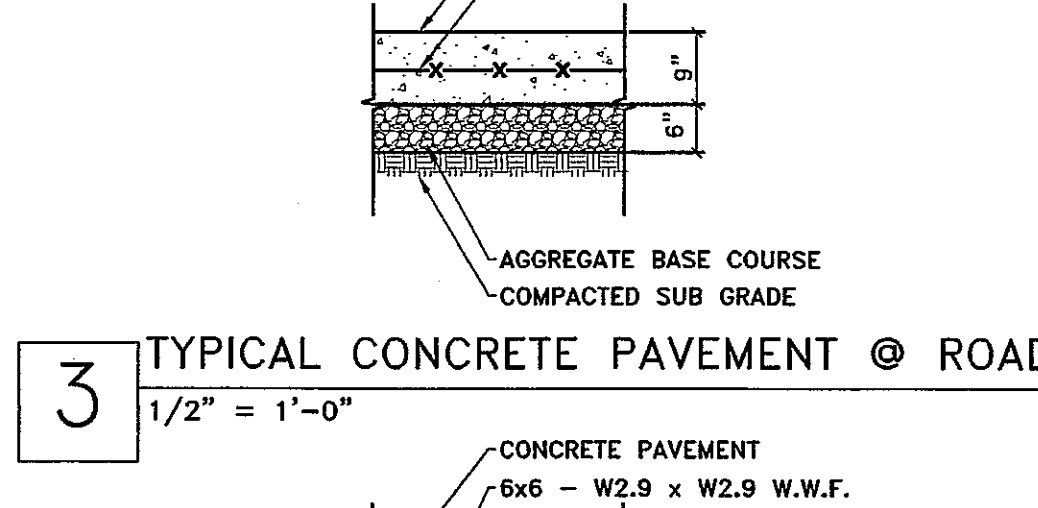
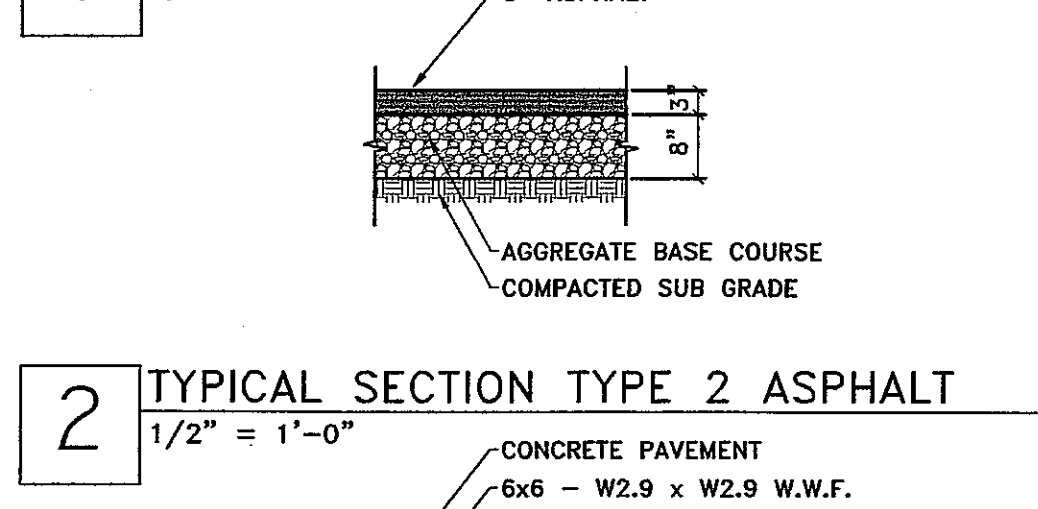
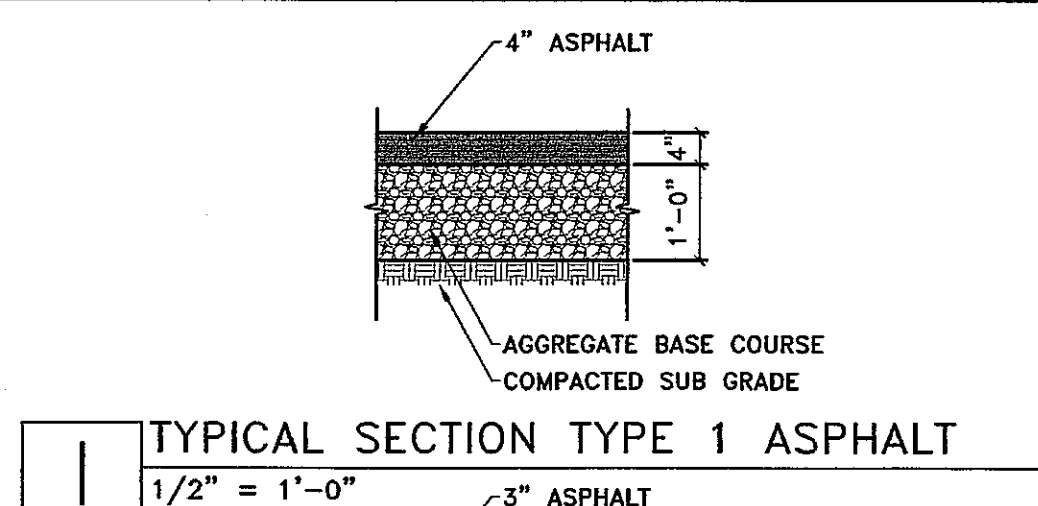
NO.	DATE	REVISIONS	BY
PROJECT NUMBER:			
DATE: 9-24-03			
DRAWN BY: DAN			
CHECKED BY: D. NELSEN			
PROJECT MANAGER: D. NELSEN			
FILE NAME: C:\DAVTEMP\			

**RUDD LIGHTING**  
 800.236.7000 USA www.ruddlighting.com 905.671.1991 CAN  
 Project: Home F23 EX  
 Filename: \\C:\Common\app\eng\working\cda\3081001\CD\AS BUILT  
 Date: 09/25/03 Scale: 1"=60' Engineer: CHRIS STROM  
 MADISON, WISCONSIN 53704  
 Illustration results shown on this lighting design are based on project parameters provided to Rued Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differ from these design parameters and may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.

**AS BUILT**

SHEET NUMBER  
 C6.0





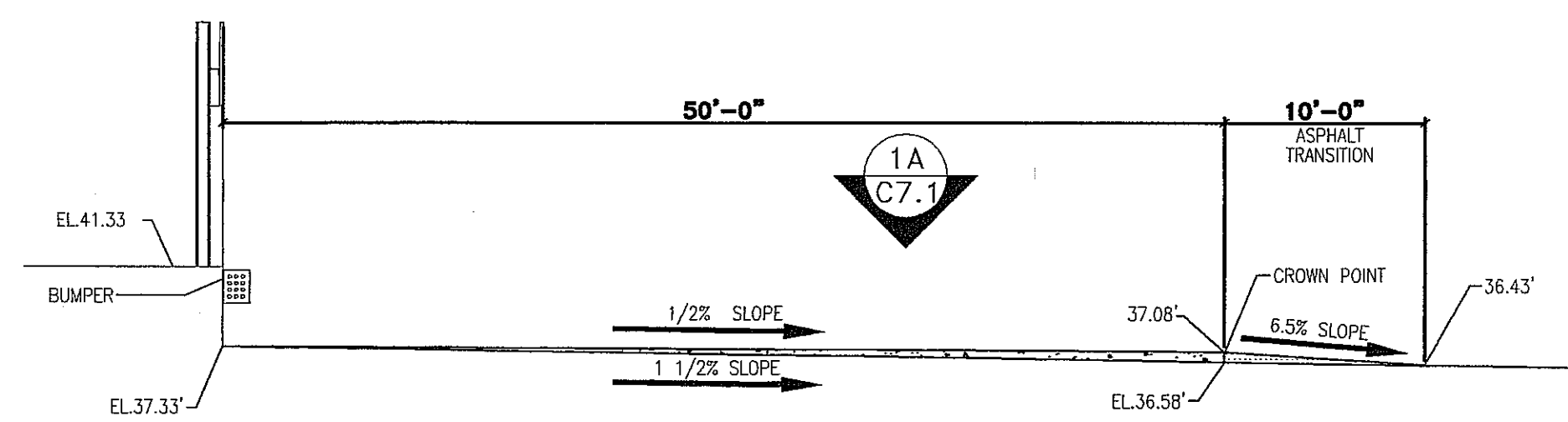
PROJECT NAME:  
**FedEx Ground**  
 3901 HANSON ROAD  
 MADISON, WISCONSIN

SHEET TITLE:  
 CIVIL DETAILS

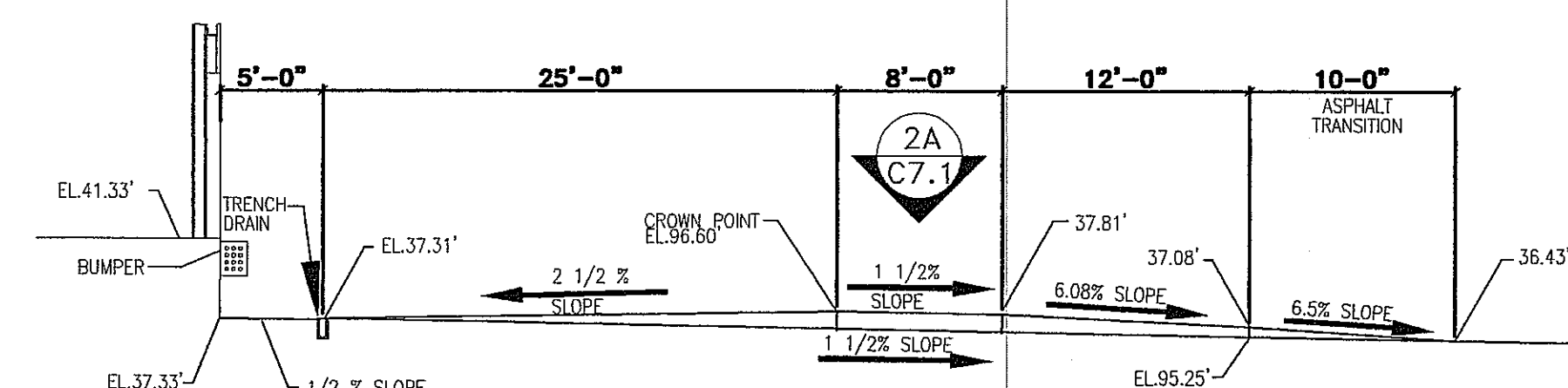
NO.	DATE	REVISIONS	BY
PROJECT NUMBER:			
DATE: 9-24-03			
DRAWN BY: DAN			
CHECKED BY: D. NELSEN			
PROJECT MANAGER: D. NELSEN			
FILE NAME: C:\DAVETEMP\			

**AS BUILT**

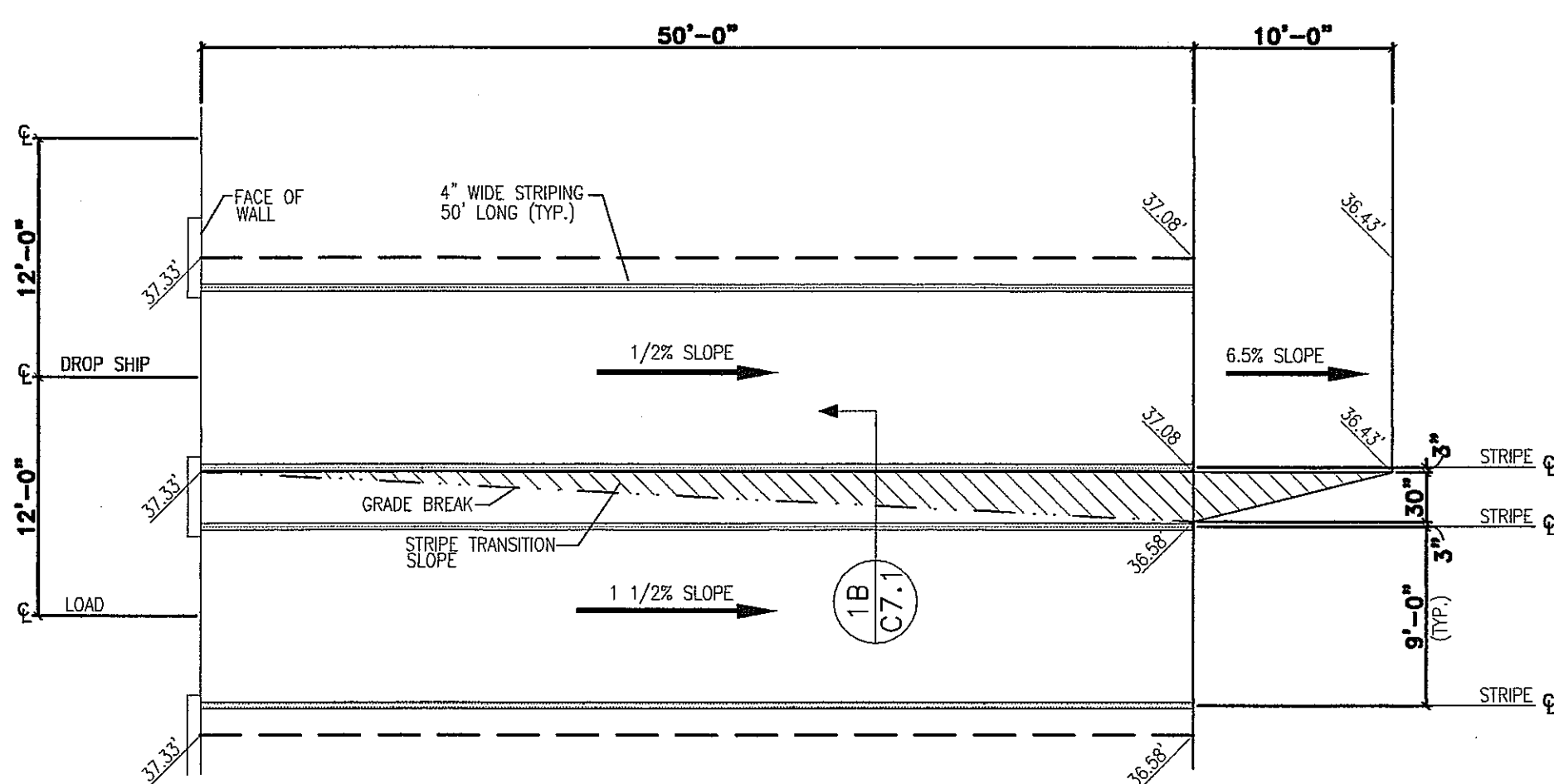
C7.0



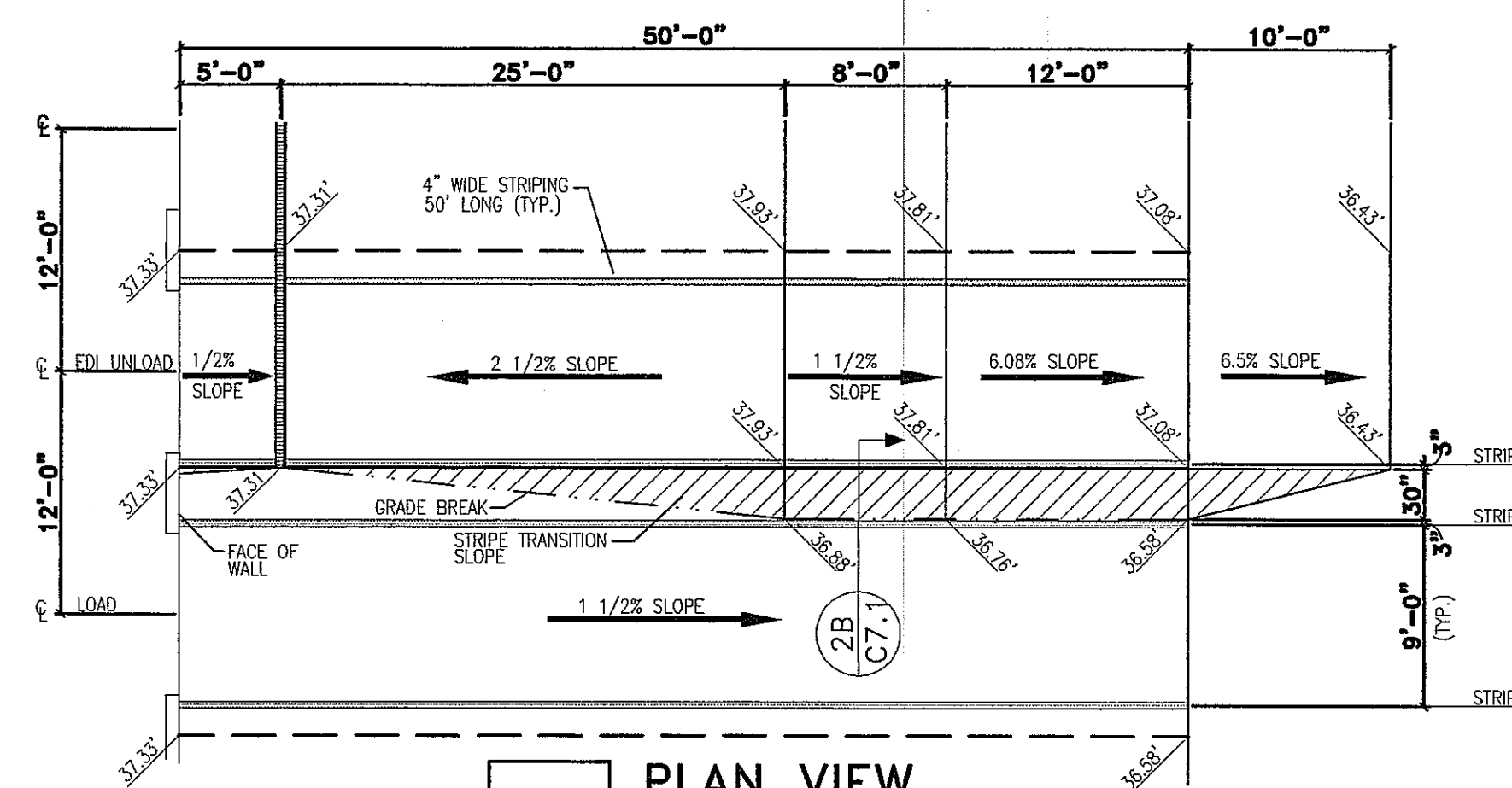
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NOT TO SCALE



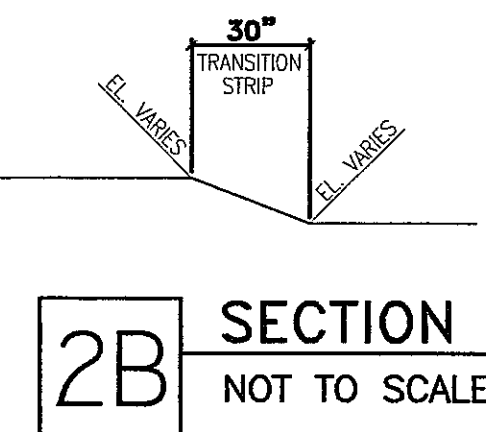
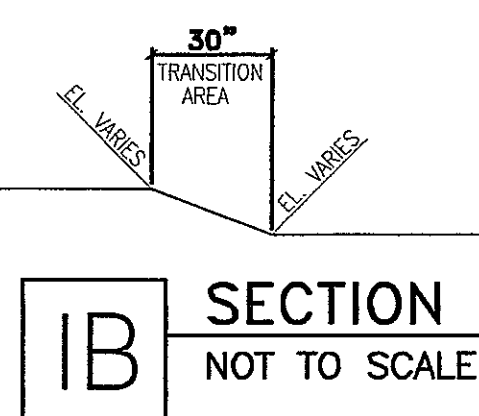
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NOT TO SCALE



**IA PLAN VIEW**  
NOT TO SCALE



**2A PLAN VIEW**  
NOT TO SCALE



PROJECT NAME:



SHEET TITLE:

CIVIL DETAILS

NO.	DATE	REVISIONS	BY
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PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

FILE NAME: C:\DAVETEMP\

SHEET NUMBER

**AS BUILT**

C7.1



**DIVISION 1 - GENERAL REQUIREMENTS**

- All materials, workmanship and testing shall comply with all applicable local, county, state and national codes, laws, ordinances, utility company regulations and industry standards, along with all state & federal agencies having jurisdiction including ADA and energy code requirements.
- All materials and workmanship specified herein shall be considered the minimum acceptable standards and, unless otherwise noted, materials of approved equal quality may be substituted. All "or Equal" substitutions must be submitted to FedEx for approval.
- The lessor shall engage the services of a licensed design professional to design and prepare the final construction documents for this project in accordance with these drawings, specifications and all applicable codes.
- The lessor shall obtain a geotechnical engineering report for the project site prepared by a licensed professional engineer. Said report shall contain actual boring logs and all necessary tests to set forth recommendations for earthwork and foundations. Said report shall also contain pavement recommendations for use by the lessor's design professional in designing the specific pavement section for said site. See division 2 and division 3 for related requirements concerning paving and foundations.
- The basic design loads shall include roof, live and snow (where applicable) loads, wind pressures (both internal and external) and seismic (where applicable) in addition to dead loads as set forth in the governing building code.
- Contract shall include all permits, fees, tap-in fees and cleanup.
- FedEx will review all drawings and specifications prior to the contractor submitting them for the building permits and the commencement of construction. The review is not a design check and will not relieve the contractor, engineer, architect or their agents of any errors in the construction documents.
- Any materials or labor, neither shown on the drawings nor specified, but which is necessary to complete the work of a similar nature shall be furnished without additional cost to FedEx.
- FedEx will employ the services of a certified independent testing laboratory to monitor compliance of the specifications. FedEx's employment of the laboratory shall in no way relieve the contractor's obligations to perform the work of the contract. At FedEx's option, monitoring may include various earthwork, portions of concrete work and pavements. FedEx and the Lessor shall be furnished a copy of all reports compiled by the testing laboratory.
- All water and sanitary systems are assumed to be connected to city or public utility company lines. In the event public utilities are not available, water wells and septic system shall be designed and installed in accordance with all local, county, state and national codes, laws, regulations, industry standards and health department requirements.

**11. Shop Drawings**

- The contractor, as a minimum shall submit the following shop drawings and product data, as applicable. FedEx Ground reserves the right to require shop drawings and product data for other items and/or equipment not listed below. Shop drawings and product data submittals that deviate from the requirements of contract documents shall be brought to FedEx Ground's attention, in writing, at the time of the submission.
  - Asphalt pavement design for both Type I and Type II pavements.
  - Concrete mix design for the 3,000 psi and 4,000 psi concrete.
  - Oil/water separator.
  - Overhead truss and gate operator.
  - Split surface CMU color samples.
  - Horizontal sliding window.
  - Overhead doors.
  - Office HVAC equipment and controls.
  - Warehouse and Garage heating, ventilation and fume detection.
  - Fire protection system and riser locations and elevations.
  - All lighting fixtures.
  - UPS system.
  - Backup generator.
  - Design photo metric survey for exterior lighting.
- Following all tests and adjustments, the contractor shall instruct/demonstrate to the representatives of FedEx, all details of operation and maintenance for all systems including but not limited to:
  - Overhead truss gate, keypad and loop detectors.
  - Office HVAC system.
  - Warehouse and Garage heating, ventilation and fume detection systems.
  - Plumbing and sewage systems.
  - Fire protection systems.
  - Fire alarm system
  - Personnel alarms.
  - All electrical systems.
  - Fueling system.
  - Yard scales.

**12. Upon completion of the project, the contractor shall:**

- Furnish FedEx with one complete set of project record (as-built) drawings and specifications on CD electronic format and mylar drawings. The drawings shall be full size (24"x36") mylars, with each sheet labeled "PROJECT RECORD".
- Furnish FedEx with two (2) copies of Operations and Maintenance Manuals for all equipment furnished under this contract. Manuals shall be bound in 8 1/2" x 11" three ring binders, and shall include but not limited to the following: performance data, list of equipment, parts list, operating and maintenance instructions, wiring diagrams, product data, warranties and names, addresses and telephone numbers of all subcontractors and suppliers.

**DIVISION 2 - SITE WORK**

- Pavement, Earthwork and Excavation**
  - All clearing, grubbing and any work which disturbs the existing ground surface shall comply with all local and state regulations regarding erosion and sedimentation control.
  - Additional fill required to raise grades, which may consist of approved on-site soils and/or off-site borrow, shall be free of all debris, organics, clumps and shall be adjusted to the proper moisture content before being compacted in 8" maximum layers. Each layer to be compacted to 95% density (Modified Proctor) per ASTM D1557.
  - Select fill under slabs and pavement areas shall be placed in 8" maximum layers of loose material, with each layer being compacted to 95% Modified Proctor per ASTM D1557.

- Provide sheet flow drainage/storm water facilities which will adequately drain the premises in a manner which is lawful. Unless otherwise indicated on the drawings, the yard shall have a minimum 1% and maximum 1.5% slope away from the building up to 50' away from the building; beyond that the yard shall have a minimum 1.5% slope and a maximum 2.5% slope (1.5% preferred) to facilitate drainage. Entrance and exit driveways shall be in accordance with the plans and shall not exceed a slope of 5%. Provide retention/detention ponds and/or underground piping and basins sized to accommodate full expansion and designed in accordance with all applicable regulations. Detention of storm water on paved areas is not permitted without the express written consent of FedEx. A grading plan shall be submitted to FedEx for review prior to construction.
- Geotextiles or geogrids, if required, for soil stabilization or reinforcing shall be installed in strict accordance with manufacturer's recommendations.
- The yard area shall be graded and surfaced with asphalt paving installed over a crushed aggregate base or other recommended base material with primer coat if required as designed by the lessor's design professional and geotextile fabric, if required. All work shall be in accordance with state highway D.O.T. specifications. The crushed aggregate base shall be compacted to 95% density (modified proctor) per ASTM D1557.

- A licensed engineer shall be engaged by the lessor's design professional to prepare the final pavement design. The design shall be based on actual geotechnical data obtained from the site and from the number of equivalent axle loads supplied by FedEx. The minimum compaction for asphalt paving shall be 95% (Marshall Design method ASTM D1559 50 blows). The pavement design, the job mix formula and calculations shall be submitted to FedEx for review prior to construction.
- The pavement section represented on the drawings is for minimum thickness only. The final design of the pavement section shall be prepared as mentioned above. The lessor's proposal is considered to include the final pavement design as designed by the lessor's design professional.
- All unpaved areas of the site shall be stabilized and then seeded or sodded. These areas shall be prepared in accordance with local landscaping code requirements. Irrigate if required by local ordinance. Additional landscaping, such as trees, screening, berms, etc., shall be provided in accordance with applicable codes. Install a minimum of one(1) frost proof hose bib at each building elevation where significant landscaping is required adjacent to that elevation. Location of hose bib to be approved by FedEx.
  - General earthwork and excavation including additional fill, select fill, compaction densities etc., shall be as specified herein unless otherwise modified by the geotechnical engineers recommendation and approved by FedEx.
  - Sealcoat shall be Advanced Formula J-16 Pavement Sealer with AFR Plus Additive as manufactured by Maintenance, Inc., Wooster, Ohio (1-800-892-6701). Sealcoat shall consist of three coats.

**2. Utilities**

- Use clean, granular fill material, free of all rocks, debris, and other unsuitable material for backfilling utility excavations. Compact backfill material in 8" max. lifts using heavy compaction equipment or in 4" max. lifts using hand-operated tampers to top of trench to 95% density (ASTM D1557).
- All new domestic water piping shall be thoroughly disinfected and tested in accordance with all local codes.
- The premises shall be connected to a city water system or provided with an on-site well system which can adequately service the building's needs.
- The premises shall be connected to a city sanitary sewer or provided with an on-site septic system which can adequately service the building's needs.
- Storm water drainage facilities shall be designed and installed to adequately drain the yard area in accordance with applicable regulations.
- Provide and install 4" minimum conduit w/pull wire for telephone service (size accordingly). Cap conduit 24" above finished floor at telephone board in the main office (see plans for location). Telephone service shall be designed to full phase requirements with the following cable pairs.
 

Facility Size	Number of Pairs
48 vans and under	50
49 - 96 vans	100
over 96 vans	200
- Any condenser unit, electric meter, gas meter, transformer, well, etc. located in the yard area or near the dock doors shall be coordinated with FedEx and protected with 6" diameter guard posts, as detailed on the plans. The guard posts shall be provided and located to adequately protect such items.
- Natural gas line (where available) shall be installed to depths required by the utility company and local codes.

**3. Chain Link Fences and Gates (If required - see site plan)**

- Fences and gates shall be provided in locations shown on the drawings. Fences and gates shall be 8' high (8' fabric) topped with 3 strands of barbed wire.
- Unless otherwise indicated on the drawings or specified herein, all framework wire and hardware shall be galvanized with a galvanizing coating of 2.0 oz/s.f.
- Waiting Package Cage: Supply and install 8' high chain link fence with 2-36" (6") wide double gate in warehouse area as noted on the plans. The fence shall be 11 gauge galvanized steel.
- Records Storage Cage: Supply and install 8' high chain link fence with 1-48" wide gate in warehouse area as noted on the plans. The fence shall be 11 gauge galvanized steel.
- Spare Parts Cage: Supply and install 8' high chain link fence with 2-36" (6") wide double gate in warehouse area as noted on the plans. The fence shall be 11 gauge galvanized steel.
- Special Handling Area: Supply and install 6' high chain link fence with 1-48" wide lockable gate in warehouse area as noted on the plans. The fence shall be 11 gauge galvanized steel.

**C. Materials**

- Fabric - 2" woven chain link mesh of No. 9 woven wire, aluminum coated conforming to ASTM A491. Fabric height shall be 8'.
- Framework - All pipe shall be "standard weight" (schedule 40) and comply with provisions of ASTM A120 for weight and coating.
 

	O.D.	Top Rail	O.D.	Brace Rail
Line Post	2.375"	1.66"		
Corner Post	2.875"	1.66"		
Terminal Post	4.00"			

 Framework for gates shall be of manufacturer's standard design for heavy duty use.
- Wires -
 

Bottom Tension Wire	7 gage
Tie Wire	9 gage
Hog Rings	12 gage
Barb Wire - Two Strand	12 1/2 gage wire
- Provide all required accessories necessary for a complete installation including hinges, lockable latches.

**H. Fence shall be installed in accordance with ASTM F567. All posts shall be set in concrete.**

**4. Parking Blocks**

- Parking blocks shall be as manufactured by Durable Mat Company, Norwalk, OH (1-800-537-1603) color gray except for handicapped color blue, or equal.

**DIVISION 3 - CONCRETE**

- All concrete work shall be in compliance with the American Concrete Institute, latest edition, including reinforcement, and finishes.
- All reinforcing shall be fabricated, installed, and supported in accordance with the "Manual of Standard practice" of the Concrete Reinforcing Steel Institute.
- All reinforcement bars shall conform to the ASTM Specification Designation A615, Grade 60. All welded wire fabric shall conform to the ASTM Specification Designation A185, and shall be provided in sheets, not rolls. Support for reinforcing shall be via protected metal spacers, chairs, bolsters, or ties.
- Concrete shall be composed of Type I Portland Cement conforming to ASTM C150, fine and coarse aggregates conforming to ASTM C33, and mixing water free of oil, acid, or injurious amounts of alkalis and other salts. Accelerating and decelerating admixtures may not be used. Water reducing admixtures conforming to ASTM C494 Type A may be used, but their use shall not relax the maximum allowable slump noted herein. Air entraining admixtures shall conform to ASTM C250.
- Physical properties of the concrete shall be as identified on the table below:
 

	Minimum 28 Day Compressive Strength	Maximum Allowable Slump	Air Entrainment
Footings	3,000 psi	3 inches	Not Required
Column Piers and Foundation Walls	4,000 psi	4 inches	Required
Floor Slabs	4,000	4 inches	Not Required
Exterior Conc. Slab	4,000	4 inches	Required
Office Slab	4,000	4 inches	Not Required

Where noted as required, air entrainment of 6% (plus or minus 1%) shall be achieved. Mix designs shall be submitted to FedEx for review prior to placement of concrete.

Dock and garage floor shall be minimum 6" thick, concrete reinforced slab with 6" x 6"/w2.9 x w2.9 welded wire fabric. Dock floor shall be capable of supporting 150 p.s.f. loads. Dock floor surface shall have a light broom finish in the P&O (van) area only. All other dock areas shall receive a steel trowel finish. Ramps if any shall have a broom finish. Garage (if any) shall receive a light broom finish.

Office floor shall be minimum 4" thick, concrete reinforced slab with 6" x 6"/w1.4 x w1.4 welded wire fabric having a steel troweled finish.

- Exterior concrete pavements, including aprons and dolly pads, shall be minimum 8" thick and reinforced with 6" x 6"/w2.9 x w2.9 welded wire fabric, unless noted otherwise (refer to drawings for locations of exterior concrete pavements). All concrete pavement and floor slabs shall be installed over a minimum 4" base course of compacted 1" slag or crushed stone placed over compacted subgrade. Thicknesses on drawings, where shown, shall govern over specifications. Construction joints in footers and walls shall be keyed. Key shall measure 3/4" deep by 1-1/2" high for walls or slab 6" or less in thickness and 3/4" deep by 2" high for walls or slab 8" to 12" thick. Key shall measure 1-1/2" deep by 3-1/2" high for strip footings. Top and bottom of keys shall be tapered 10 degrees. Construction joints for poured concrete shall be spaced at no greater than 150' center to center. Reinforcing in strip footings shall be continuous through all construction joints.
- All interior floor areas (including warehouse) not receiving final floor coverings shall receive a "SUPER Floor Coat" floor sealer as manufactured by Euclid Chemical Company or equal.
- Garage floor (if any): floor sealer shall be "SONOTHANE VOC" as manufactured by Chemrex Inc. (1-800-243-6738). Apply per manufacturers recommendations.

- All concrete slabs shall be saw cut as soon as the concrete will support the sawing equipment and does not ravel during the sawing operation. All saw cutting shall be done the same day the concrete is placed. Saw cuts shall be 1/8" wide with depths of at least 25% of the slab thickness. Jointing pattern shall be in a square pattern with maximum spacings of 15' for 6" slabs and 20' for 8" slabs, unless noted otherwise.
- All concrete flat work shall be covered immediately following saw cutting and maintained continuously wet for a minimum of seven days after placing. Curing sheets shall be used and are to remain in place during this period. Curing compound may be used on vertical surfaces only, and must be applied per manufacturer's recommendations.
- The foundation, including foundation walls for the structure, shall be reinforced concrete and designed by a professional engineer who shall give due consideration to the subsurface conditions at the site and the design requirements of the local building code. Wall thicknesses shall not be less than that shown on the drawings.
- Concrete contractor to make certain that conductor for building steel grounding has been installed before pouring concrete.

**DIVISION 4 - MASONRY (At office area if required by code)**

- Concrete masonry units shall be 8" x 16" face size and shall conform to "Standard for Hollow Load Bearing Masonry Units." ASTM C-90, Type I, Grade 4.
- Mortar for unit masonry shall conform to ASTM C-270, Type S, with a minimum compressive strength of 2,000 p.s.i. ASTM C-270.
- Grout for unit masonry shall conform to ASTM C-476. All grout shall be made with Portland Cement conforming to ASTM C-150, Type I sand and Number 8 Gravel, ASTM C-404. Grout shall reach a minimum strength of 2,500 p.s.i. at 28 days but shall in no case be less than the 28-day strength of the mortar. Maximum slump shall be 6".
- Provide bullnose units at all external corners, door and window jambs and other openings exposed on the interior or exterior of the building. Provide solids, jamb blocks, 4" high units, etc. as required by the work.
- Install horizontal joint reinforcing in accordance with manufacturer's instructions. Reinforcement shall be truss type welded steel wire equal to standard Duro-wall at 16" o.c. vertical.
- Expansion and contraction joints shall be located in walls as required. Masonry control joints shall be "regular rapid" control joints as manufactured by Duro-wall. All expansion joints shall be properly caulked upon completion of the work.
- Reference standard, "Specification for Design and Construction of Concrete Masonry" by National Concrete Masonry Association.

**DIVISION 5 - METAL**

- All hot-rolled shapes, plates, and anchor bolts shall conform to ASTM A36. Anchor bolts shall be designed by metal building manufacturer.
- Steel pipe handrails and guard posts shall be as detailed and shall be standard weight (Schedule 40) steel pipe conforming to ASTM A53, Type E or S grade B.
- All welds shall be made with E70XX electrodes. All welding to conform to American Welding Society "Structural Welding Code" latest edition. Grind smooth oil exposed welds.
- All ferrous miscellaneous metal items, unless noted, shall be given one shop coat of metal primer. Minimum dry film thickness of primer shall be 1.5 mils. Primer shall be Sherwin Williams Shopcoat Primer E61 RC21 or equal.

**DIVISION 6 - WOOD & PLASTICS**

- The installation of rough and finish carpentry shall be in accordance with the industry standards, in the locations shown on the drawings and specified herein, using the best methods of craftsmanship to produce a first class installation in every respect. All exposed lumber shall be treated with Wolman CCA wood preservative chemicals by Koppers Co., Inc. (Wolmanized)

**1. Rough Carpentry**

- All lumber and plywood for permanent use in construction throughout shall be fire retardant treated to produce a flame spread rating of 25 or less when tested in accordance with ASTM E84. Each piece shall bear the appropriate Underwriters' Laboratories, Inc. classification marking.
- Lumber PS 20, graded in accordance with national Forest Products Association grading rules with a maximum moisture content of 19%.
  - Joists, rafters, and miscellaneous framing shall be No. 2 or better Southern Pine or Douglas Fir-Larch.
  - Studs shall be stud grade Spruce, Pine, or Fir.
- Nails, spikes, and staples shall be galvanized for exterior locations, high humidity locations, and for treated wood. Framing bolts, nuts, washers shall be medium carbon steel and have a galvanized finish.

**2. Finish Carpentry**

- The installation of finished carpentry shall be in accordance with AWI standards.
- Wood trim shall be select, clear, kiln dried poplar free from shakes, sap and other imperfections. Trim shall be suitable for staining. Counter tops shall be constructed of 3/4" AC fir plywood with nosing and back splash. Lumber grades shall be:
  - Softwood Lumber - PS 20 Custom Grade: Softwood Plywood - PS 1 Custom Grade Fir.
  - Hardwood Lumber - PS 58 Custom Grade Birch: Hardwood Plywood - PS 54 Custom Grade Birch.
- Storage Room Shelving
  - Storage room(s) shall have five (5) 18" wide shelves constructed of 3/4" wood with prefinished melamine plastic laminated finish. Shelves shall be adequately reinforced to support 100 lbs./sf. Color shall be white.
- Plastic laminate shall meet FSL-P-508 and be as manufactured by Formica Corp.
  - General purpose Grade HBS-20, .050" thickness shall be used on all surfaces.
  - Color shall be #7216-58 "Sienna Terra" with "Matte" finish.
- Counters
  - Counters shall have a plastic laminate finish and be able to support 200 lbs./sf.
- Plywood Paneling (Guard House building)
  - Wood paneling shall be 1/4" 3-ply V-groove McKenzie Brookstone Birch plywood as manufactured by Georgia Pacific, or approved equal.
- Hardboard Paneling
  - Hardboard paneling shall be "Marlite FRP" paneling as manufactured by Marlite Corp. of Dover, OH or equal. Color shall be Beige #P-106. Installation shall be with Marlite C-375/376 adhesive and matching "Marlite Moldings".

**DIVISION 7 - THERMAL AND MOISTURE PROTECTION**

- Under all floor slabs - vapor barrier shall be new 6 mil polyethylene film, "Visqueen" by Ethel Corp. or equal. Vapor barrier shall have lap joints a minimum of 6" and turned up 3" around perimeter. Care shall be exercised during concreting operations to prevent punctures or tears. Repair all damaged areas with tape.
- Rigid board foundation insulation shall be closed cell rigid polystyrene equal to "Styrofoam-SM" as manufactured by the Dow Chemical Company. Minimum five year aged "R" value shall be 8.0 measured at 40 degrees F mean temperature. Install at exterior walls of the heated buildings. Extend to 4'-0" below bottom of floor slab.
- Batt insulation for office exterior walls and above ceilings shall be a fiberglass insulation with an aluminum foil vapor barrier. "R" values shall be as follows: R-11 (minimum) at walls, R-19 (minimum) at ceiling. Batt insulation (where required) shall be provided with flanges at the edges for stapling:
  - Insulation shall provide full coverage in all suspended ceilings.
  - Vapor barriers shall face the interior of the building.
- Sound insulation shall be 3-1/2" unfaced fiberglass batt insulation, friction-fit type. Install full height in all interior partitions, floor to ceiling, except for supply rooms, toilet rooms, terminal manager's office and training room where walls and insulation shall be installed full height, from floor to roof (with no gaps).
- Rigid board insulation for use on masonry wall construction shall be 3/4" "Thermax" foil-faced insulation board as manufactured by Celotex Corporation with a min. R value of 5.4.
- All joints and cracks shall be constructed weather tight by caulking and sealing. Use Dow Corning 790 Silicone Building Sealant" or General Electric "GESIL N." Sealant colors shall match the color of the adjacent materials.

**DIVISION 8 - DOORS & WINDOWS**

- Hollow Metal Doors Shall Be Equal To Ceco Corporation
  - Metal doors connecting heated and unheated spaces shall be 16 gauge "Imperial" series 1-3/4" full flush insulated with urethane core.
  - Exterior non-insulated door shall be 16 gauge steel "Regent" Series 1-3/4" full flush.
  - Interior doors shall be 18 gauge Regent Series 1 3/4" full flush.
  - Personnel door alarms shall be installed at all exterior doors except office doors and the main warehouse entrance door. Alarms shall be surface mounted EA-2500 series with battery back-up and key bypass as manufactured by Detex, or approved equal. Also provide a strobe light as manufactured by ATW Security Model #STL-24CL or equal, with Amesco Transformer Model #XT-1240 or equal, with each door alarm unit.
- Hollow Metal Frames
  - Frames shall be equal to Ceco Corporation.
  - Reinforce frames for butts, strikes, closers, and other hardware. Provide 24 gauge plaster guards for all cutouts. Frames shall be provided with three door silencers per strike jamb.
- Sectional Overhead Doors
  - Drive-in doors shall be commercial grade 24 gauge steel overhead track doors, "424 Series" steel doors as manufactured by Overhead Door Corporation, or equal. (Insulated doors are to be provided where warehouse is heated to a minimum "R" value of 14.7 - "591 Series".) For door operation refer to door schedule:
    - Chain operated, inside mounted, counterbalanced, and fitted with standard locking and operating hardware.
    - Motor operated w/key lock start/stop stations inside and out with manual override and chain hoist, inside mounted, counterbalanced, and fitted with standard locking and operating hardware.
  - Dock doors shall be commercial grade 24 gauge steel overhead track doors, "424 Series" steel doors as manufactured by Overhead Door Corporation, or equal, manually operated, inside mounted, counterbalanced, with one standard window lite (mounted on the right side facing out) and fitted with standard locking and operating hardware. (Insulated doors to be provided where warehouse is heated with a minimum "R" value of 14.7-"591series") Door openings shall be 48" above exterior finish grade and shall be fitted with three sided dock door seals. The dock seal(s) must extend 4" beyond laminated rubber bumpers.

PROJECT NAME:



SHEET TITLE:

SPECIFICATIONS

NO.	DATE	REVISIONS	BY
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PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

FILE NAME: C:\DAVETEMP\

SHEET NUMBER

**AS BUILT**

SP. 1



**4. Windows**

- A. Exterior windows shall be equal to Tribaf 451 Series, manufactured by Kawneer, or equal. Frame members shall be 2" x 4-1/2", flush glaze 1/2" insulating tinted glass, finished color to complement building color. Windows facing dock are considered exterior windows.
- B. Interior operable sash windows shall consist of horizontal sliding, lockable glass panels in a hollow metal, 16 gauge, frame. Sliding hardware shall consist of extruded aluminum top and bottom. Panels shall be 1/4" thick tempered glass. All locks to be installed on the Service Manager check-in side of the office. Window to be installed in the Coordinator's check-in office. Units shall be as supplied by Specified Systems Inc. (724.942.4200), Swing Line Windows Inc. (412.341.1933) or approved equal.
- C. Venetian blinds shall be equal to Flexalum "Decor" steel head and bottom rails with electro-galvanized and banded metal finish, inside and outside, and baked-on enamel with the following features:
- (1) 1" Flexalum slats, painted.
  - (2) Flexalum braided polyester yarn, .045" to .066" diameter.
  - (3) Nylon cords.
  - (4) Color shall be selected by FedEx.
  - (5) Blinds shall be installed on all exterior office windows including office windows that face the warehouse.

**5. Hardware Schedule**

- A. To indicate type, quality and function of hardware items, the following manufacturer's products are listed in the schedule below:
- |                                          |                                    |
|------------------------------------------|------------------------------------|
| (1) Hinges: . . . . . HAGER              | (7) Kickplates: . . . . . IVES     |
| (2) Locks: (No Substitute) BEST          | (8) Thresholds: . . . . . REESE    |
| (3) Push Button Locks: . . . ILCO UNICAN | (9) Weather-stripping: . . . REESE |
| (4) Closures: . . . . . LCN              | (10) Push Plate and Pull: . IVES   |
| (5) Crash Stop: . . . . . IVES           | (11) Door Sweeps: . . . . . REESE  |
| (6) Door Stops: . . . . . IVES           |                                    |
- B. Abbreviations:
- (1) Aluminum Lacquer: ALUM
  - (2) Non-Removable Pin: NRP
  - (3) Satin Chrome: US26D
- C. Schedule: The following hardware sets shall be distributed as shown on the "Door Schedule":
- NOTE:
- (1) All finishes shall be US26D.
  - (2) All thresholds shall be aluminum.
  - (3) All weather stripping shall be aluminum.
  - (4) All kickplates shall be stainless steel.
  - (5) All Sets may not be used in this project.
  - (6) Coordinate keying with FedEx.

D. Hardware Sets - (See door schedule for locations)

Office Area to Exterior	#1	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts x NRP
		1 only	#35H 7W 14J Lockset
		1 only	#4111 Cush-N-Stop (100 degrees) Closer
		1 only	#444 Floor Door Stop
		1 only	#8400 10" x 34" x .050" Kickplate
		1 only	#S483A Threshold x 36"
		1 only	#DS69C x 3070 Weatherstrip Set
		1 only	#323A Door Sweep x 36"
Distribution to Exterior @ Main Distribution Center Entry Only	#2	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts NRP
		1 only	#35H 7W 14J Lockset
		1 only	#4111 Cush-N-Stop (100 degrees) Closer
		1 only	#8400 10" x 34" x .050" Kickplate
		1 only	#S205A Threshold x 36"
		1 only	#DS69C x 3070 Weather-strip Set
		1 only	#323A Door Sweep x 36"
Office Area to Janitor	#3	1-1/2 pr.	#BB1279 4-1/2" x 4-1/2" Butts
Office Area to Storage		1 only	#93K 7L 14D-53 Lockset
Office Area to Telecom Room Maintenance Shop to Storage		1 only	#407-1/2 Wall Door Stop
Distribution to Restroom	#4	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts
		1 only	#8200 6" x 16" Push Plate
		1 only	#8302-0 6" x 16" PLATE & #8102-0 PULL
		1 only	#4011 Reg Closer
		1 only	#8400 10" x 34" x .050" Kickplate
		1 only	#S205A Threshold x 36"
		1 only	#DS69C x 3070 Weatherstrip Set
		1 only	#323A Door Sweep x 36"
Office Area to Restroom	#5	1-1/2 pr.	#BB1279 4-1/2" x 4-1/2" Butts
		1 only	#93K OL 14D-53
		1 only	#4011 Reg Closer
		1 only	#8400 10" x 34" x .050" Kickplate
Distribution to Office Area Maintenance Garage to Office Area	#6	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts NRP
		1 only	#35H 7W 14J Lockset
		1 only	#4011 Reg (100 degrees) Closer
		1 only	#8400 10" x 34" x .050" Kickplate
		1 only	#S205A Threshold x 36"
		1 only	#DS69C x 3070 Weatherstrip Set
		1 only	#323A Door Sweep x 36"
Office Area to Office Office Area to Training/Meeting Maint. Shop to Maint. Office	#7	1-1/2 pr.	#BB1279 4-1/2" x 4-1/2" Butts
		1 only	#93K 7L 14D-53 Lockset
		1 only	#407-1/2 Wall Door Stop
Exterior to Guardhouse	#8	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts x NRP
		1 only	#35H 7K Deadbolt
		1 only	#8200 6" x 16" Push Plate
		1 only	#8302-0 6" x 16" PLATE & #8102-0 PULL
		1 only	#4111 Cush-N-Stop (100 degrees) Closer
		1 only	#115 Crash Stop
		1 only	#8400 10" x 34" x .050" Kickplate
		1 only	#S483D Threshold x 36"
		1 only	#128V Weatherstrip Set
		1 only	#323A Door Sweep x 36"
Office Area to Check-in	#9	1-1/2 pr.	#BB1279 4-1/2" x 4-1/2" Butts NRP
		1 only	#L1021B (UNICAN) w/BEST cylinder core
		1 only	#4011-Reg (100 degrees) Closer
		1 only	#407-1/2 Wall Door Stop
Distribution to Computer Rm	#10	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts x NRP
		1 only	#L1021B (UNICAN) w/BEST cylinder core
		1 only	#4111 Cush-N-Stop (100 degrees) Closer
		1 only	#444 Floor Door Stop
		1 only	#8400 10" x 34" x .050" Kickplate
		1 only	#323A Door Sweep x 36"
Distribution to Switchgear	#11	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts
		1 only	#93K 7L 14D-53 Lockset
		1 only	#4011 Reg (100 degrees) Closer
		1 only	#407-1/2 Wall Door Stop
		1 only	#8400 10" x 34" x .050" Kickplate
Distribution to Exterior Maintenance Shop to Exterior Garage to Exterior	#12	1-1/2 pr.	#BB1168 4-1/2" x 4-1/2" Butts NRP
		1 only	#93K 7L 14D-53 Lockset
		1 only	#4111 Cush-N-Stop (100 degrees) Closer
		1 only	#8400 10" x 34" x .050" Kickplate
		1 only	#S205A Threshold x 36"
		1 only	#DS69C x 3070 Weather-strip Set
		1 only	#323A Door Sweep x 36"
Training to General Office Applications to General Office	#13	1-1/2 pr.	#BB1279 4-1/2" x 4-1/2" Butts
		1 only	#93K 7R 14D-53 Lockset
		1 only	#407-1/2 Wall Door Stop
Unisex Shower to Garage Restrm. to Garage	#14	1-1/2 pr.	#BB1279 4-1/2" x 4-1/2" Butts
		1 only	#93K 7L 14D-53
		1 only	#4011 Reg Closer
		1 only	#8400 10" x 34" x .050" Kickplate

**C. Exterior Surfaces**

	1st Coat	2nd Coat	3rd Coat
(1) Ferrous Metals (Shop Coat)	A	C	C
(2) Galvanized Metal	B	C	C
(3) Pavement Striping	K	K	---
(4) Exterior Piping	A	C	C
(5) Concrete Block	M	M	---

**D. Interior Surfaces**

(1) Ferrous Metals	A	C	C
(2) Galvanized Metal	B	C	C
(3) Gypsum Board & Exposed Plywood	F*	G	G
(4) Trim	H	I	J
(5) Concrete Block	E	G	G

\* Prime both sides of plywood wainscot.

**E. Color Schedule**

- (1) Interior gypsum board, interior exposed plywood.
  - (A) Painted - semi-gloss Medici Ivory SW 1634
  - (B) Painted - semi-gloss enamel Walnut Brown SW 4009 wainscot to 48" above finished floor on exterior side of office walls (warehouse side and garage side, if any) and sprinkler room, with semi-gloss Medici Ivory SW 1634 above wainscot
  - (C) 8'-0" high CDX plywood wainscot - painted semi-gloss Medici Ivory SW 1634.
- (2) Guard posts, exterior natural gas pipe, and interior column protection, - OSHA yellow.
- (3) Exterior piping and handrails, - semi-gloss Tower Gray SW 4018.
- (4) Independent dock bumpers - semi-gloss Tower Gray SW 4018, except top surface shall be OSHA yellow.
- (5) Office hollow metal personnel doors and frames - semi-gloss Walnut Brown SW 4009.
- (6) Pavement striping - yellow Y-2.
- (7) Fire extinguisher background - OSHA red.
- (8) Dock sill plates - semi-gloss Tower Gray SW 4018, except top surface shall be OSHA yellow.
- (9) Sectional overhead doors - white
- (10) Sectional overhead door frames & trim - gray to match building
- (11) Exterior hollow metal personnel doors & frames - gray to match building
- (12) Exterior building & trim - Shell Gray (ref. Butler)

**DIVISION 10 - SPECIALTIES**

1. Compartments and Cubicles:
  - (A) Toilet compartments shall be flush type, "Overhead Braced" Weis/Robart toilet partitions, color shall be Sand. Compartments to be fitted with gravity-type hinges, combination coat hook and rubber tipped bumper and dual roll paper holder, all to be brass chromium plated. All hardware shall be attached with vandal resistant one-way chrome plated screws.
  - (B) Urinal screens shall be Weis/Robart "Wall Braced" 18" x 42" walls hung, flush-type panels.
2. Signage:
  - (A) Toilet room signs shall be plastic plates with 2-1/2" high x 1/8" thick with 1-1/2" high letters. Color shall be white letters on brown background.
  - (B) Install all traffic and other exterior signs, shown on the drawings. Traffic and exterior signs shall be furnished by FedEx. Posts furnished and installed by Lessor.
3. Toilet Room Accessories shall be the products of Babrick Washroom Equipment Company or equal as follows:
  - (A) Toilet Room Mirror (18" x 24"), Model #B-290-1824
  - (B) Liquid Type Soap Dispenser, Model #B-2112
  - (C) Toilet Paper holder, Model #B-274
  - (D) Handicapped Grab Bars 1-1/2" Diameter, Model #B-6106
  - (E) Paper Towel Dispensers, Model #B-2860
  - (F) Coat Hook with Bumper, Model #B-212
  - (G) Sanitary Napkin/Tampoon Vendor, Model #B-2800-10
  - (H) Sanitary Napkin Disposal, Model #B-270

It will be the design professionals responsibility to modify mounting heights, types and/or sizes or accessories if local, state, or ADA handicapped codes or law dictate.
4. Portable Fire Extinguishers:
 

Furnish and install all fire extinguishers, brackets, mounting hardware and location labeling to meet all applicable building codes including N.F.P.A. 10 and O.S.H.A. Maximum travel distance shall not exceed 50'-0". Fire extinguisher types and sizes shall be:

Offices: Dry chemical rated at 2A:10B:C or larger.  
 Dock Areas, Warehouse: Dry chemical rated at 2A:20B:C or larger.
5. Rubber Dock Bumpers:
 

Laminated rubber dock bumpers shall be vertical type as manufactured by Durable Mat Company, Norwalk, OH, (1-800-537-1603) or approved equal. Bumpers shall be constructed of rubber laminates compressed between galvanized carbon steel angles via continuous galvanized thru-bolts, galvanized washers and nuts. Fasteners shall be galvanized concrete anchors, Hilti or equal. Rubber Dock Bumpers shall be furnished and installed by the General Contractor. Laminated rubber bumpers shall be mounted and sized as shown on the drawings.
6. Dock Leveler:
  - (A) Dock Leveler shall be NL7820 Neverlift EOD as manufactured by DLM Corporation, Malvern, AR. (1-800-643-5423) No substitutes.
  - (B) Contractor to furnish and install dock leveler(s) as noted on the drawings.
7. Door Seals:
 

Door seals shall be as manufactured by Fairborn USA Inc., (1-800-262-1188) Dynaloc black, no substitute.

  - (A) Door seals at load doors shall be Series 1000 Foam Dock Seals with fixed head pad.
  - (B) Door Seals at unload and dual use doors shall be Series 1000 Foam Dock Seals with pivoting hardware.
8. High Security Cage:
 

Cage shall be 10' wide x 12' long x 10' high prefabricated wire mesh cage (part# FEDEX-1012R) as manufactured by Jesco Industries, Litchfield, MI, (1-800-529-6689). No substitute.

**9. Folding Gates:**

Furnish and install 8' high paired folding gates at two overhead door locations as noted on the drawings. Gate installation shall be on the interior of the building and shall not impede the operation of the overhead doors. Gates shall be as manufactured by Folding Guard Company, Chicago, IL. (1-800-622-2214). Verify final gate locations with FedEx.

**10. Mailboxes:**

Contractor to furnish and install mailboxes as manufactured by Security Manufacturing Corporation, Grapevine, TX. (1-800-762-6937) Mailboxes shall be model #2016 with 16 slots per full unit or 8 slots per half unit (see DWG's). Finish shall be standard gold finish.

**DIVISION 11 - EQUIPMENT**

None in this project.

**DIVISION 12 - FURNISHINGS**

None in this project.

**DIVISION 13 - PRE-ENGINEERED BUILDING**

1. The pre-engineered building shall be designed to the dimensions as shown on the drawings. Bay spacing shall be as shown on the drawings. Verify that bay sizes shown on the drawings will accommodate the proposed structural frame and that foundations and reinforcing are of any proper configuration, size, and capacity to support any future building addition at end bay. Install rigid frame at expandable end bay. The metal building analysis and design shall be performed and sealed by a professional engineer licensed in the state in which the project is located.
  - (A) Prior to construction submit for FedEx's review basic metal building shop drawings that show building configuration and dimensions including haunch height.
  - (B) Construction using wire rope shall not be permitted.
2. All roofs shall be insulated as specified herein. Building shall be complete with gutters, down spouts, and all other necessary and/or specified accessories.
3. Building shall be a rigid frame type with a roof pitch of 1/2"/foot. See drawings for minimum acceptable clear heights and exact clearance requirements.
4. The roof construction shall carry the Underwriters' Laboratories (Uplift) rating of not less than Class 90.
5. Roof Panels:
  - (A) The exposed metal roof covering shall be either 24 gauge (minimum) aluminum coated steel panels or 24 gauge (minimum) aluminum-zinc coated steel panels of such configuration to provide the specified load carrying capabilities and deflection requirements for this specification. All joints and end laps shall be sealed with non-hardening sealant.
  - (B) Roof panels shall be manufacturer's standard design. Deflection of the roof panel shall not exceed L/180 of its span when supporting the applicable vertical live loads previously described.
  - (C) Entire roof is to be insulated with vinyl scrim faced, blanket insulation, minimum "R" value of 13.0 and flame spread of 25 or less. (Minimum "R" value of 19.0 where warehouse (and garage, if any) is heated.)
6. Wall panels
  - (A) Wall panels shall be 26 gauge, zinc coated steel or aluminum with a color finish, fastened with coordinating color coated nylon fasteners. All wall openings larger than 18" including door shall be completely framed with structural members and trimmed as required to be weathertight. (Wall panels to be a minimum "R" value of 13.0 where warehouse (and garage, if any) is heated.) Substitute types of wall construction such as "tilt-up" must still meet the minimum "R" value.
  - (B) All head and jamb members at 8' x 9' door locations shall be 8" in width maximum.
7. All uncoated structural steel shall be given one shop coat of rust inhibitive (primer) which meets or exceeds Federal Specifications TT-P-664.
8. All eave gutters shall be galvanized steel of the manufacturer's standard profile and gauge.
9. Provide expansion joints in the roofing and/or roof framing as required to prevent damage and distress due to temperature changes.
10. Bracing shall be metal rod construction. (no substitute)

**DIVISION 14 - CONVEYING SYSTEMS**

To be Supplied and installed by FedEx.

**DIVISION 15 - MECHANICAL**

1. Plumbing
  - (A) The work included under this section shall consist of all materials, supplies, equipment, tools, transportation, and facilities and performing all labor and services necessary for, required in connection with, or properly incidental to the installation of the plumbing work described and/or shown on the drawings, or reasonably implied. Provide rough-in for future piping where required.
  - (B) All necessary equipment, piping, valves, hangers, specialties, plumbing fixtures, sanitary drains, insulation, tests, balancing, etc. for plumbing and piping shall be provided. This work shall include the complete installation of the plumbing system to consist in general of the following:
    - (1) Sanitary, waste, and vent piping system.
    - (2) Plumbing fixtures, equipment, and accessories. All toilets shall be flush valve operated.
      - (A) Wash fountain sinks when indicated on the drawings shall be 36" Tri-Fount Model #2903 as manufactured by Bradley Corporation or approved equal.
    - (3) Domestic hot and cold water piping.
    - (4) Pipe insulation.
    - (5) Supply and install electric water cooler(s) (drinking fountain) as shown on the plan.
    - (6) Install hose bibs where located on the plans.
    - (7) Install trench drains in the warehouse (and garage, if any) and connect to sanitary sewer with all necessary filtering and collection system and accessory fixtures and equipment as required by local, state or federal guidelines, codes and regulations which will accommodate cosmetic wet washing activities.
  - (C) If sprinklers are required by code, provide a "dry" type sprinkler system. If not required initially, but future expansion as shown will require sprinklers, provide sprinkler main stub and cap for future sprinkler riser at location shown on plan. The lessor shall verify if sprinklers are required for the conveyor system and size piping and main accordingly. Riser location(s) must be approved by FedEx. If riser location(s) are not shown, submit riser layout for approval.
    - (1) If sprinkler system is required and warehouse (and garage, if any) is unheated, provide a minimum 6' x 6' heated sprinkler room.
    - (2) Furnish and install sprinkler alarm system if required by code.

**2. Heating, Ventilating and Air Conditioning**

- (A) The work included under this section shall consist of furnishing all materials, supplies, equipment, tools, transportation, and facilities and performing all labor and services necessary for, required in connection with, or properly incidental to the design and installation of the work described in these specifications or shown on the drawings or reasonably implied. Heated or cooled spaces must meet all applicable energy code requirements. (Refer drawing A-1 note #3.) (and A-5 (NOTE #1).)
- (B) The Lessor shall include the necessary design, equipment, ductwork, insulation, hangers, piping, tests, balancing, etc. for the HVAC systems as called for in these specifications or shown on the drawings. Office HVAC shall be designed of a size and capacity to comply with applicable codes. The design shall provide for a single system for office areas under 2000 sf and two systems for areas greater than 2000 sf and zoned to provide for the best comfort control.

Each system shall consist of a horizontal gas-fired furnace with an annual fuel utilization efficiency of not less than 80% with air-cooled condensing units having a seer of not less than 10.0. The furnace shall be adequately suspended in the supply room with not less than 7'-0" headroom clearance. Unit shall be located for maintenance accessibility. This work shall include the complete installation of the HVAC systems to consist in general of the following:

- (1) Horizontal gas furnaces (equal to Trane Model #TID with 2 stage gas valve and 80% efficiency). Size as required.
- (2) Air Conditioning/Condensing unit equal to Trane TIA 3 phase or TR single phase). Size as required.
- (3) Exhaust fans.
- (4) Supply, return, and exhaust air ductwork.
- (5) Pipe and ductwork insulation.
- (6) Temperature controls and wiring.
- (7) Thermostats

**C. Unit Heaters**

- (1) Gas fired suspended unit heaters (where warehouse and garage, if any is heated) shall be provided and designed to maintain 40° F in the building where outside temperature is at 0° F. Separate bid is required. The warehouse heating system shall be controlled by space thermostats mounted 10' high in warehouse or 12' high at vanline walkway locations. Final location of thermostats are to be coordinated with FedEx Ground.
- (2) One electric wall heater shall be provided in each restroom which opens onto the warehouse area.

**D. Exhaust Fans**

- (1) Provide for warehouse (and garage, if any) electric exhaust fans as required by code. Vehicles will be parked in the building.
  - (A) Exhaust fans sequence of operation:
 

For General Ventilation: The exhaust fans shall be energized by a local adjustable thermostat operated by a seven-day programmable time clock with a lockable "ON-OFF-AUTO" starter switch. The thermostat shall be preset to 85° F and the time clock shall be preprogrammed as directed by FedEx Ground. These fans should not run during unoccupied hours. The fans will run automatically when the lockable "ON-OFF-AUTO" starter is placed in the AUTO position. The exhaust fans will run continuously when the lockable "ON-OFF-AUTO" starter is placed in the ON position. The exhaust fans will not run when the lockable "ON-OFF-AUTO" starter is placed in the OFF position.
  - (B) Fume Detection: If required by code, furnish and install fume detection system.
  - (C) Final locations of thermostats, time clocks, and starters are to be coordinated with FedEx Ground.
- (2) One electric exhaust fan shall be provided in each restroom and controlled by light switch.

**DIVISION 16 - ELECTRICAL**

1. All wiring, lighting, exit signage, etc. shall conform to the National Electrical Code and/or all applicable codes.
  - (A) Emergency lighting shall be provided to maintain a minimum illumination level of 1 foot-candle at floor level or per local requirements whichever is greater.
2. All materials shall be new and shall conform to the standards of the Underwriter's Laboratories, Inc. and shall bear their label in every case where such a standard has been established for the particular type of material in question.
3. Furnish and install all conduits, supports, boxes, and necessary fittings and accessories, as required to make a complete installation of the wiring system. Interior conduits shall be electrical metallic tubing (E.M.T.). Metal clad cable may be used only in concealed office areas and above office ceilings. Exterior conduits shall be ridged steel conduit galvanized inside and out. Underground conduit shall be PVC schedule 40 heavy wall type suitable for direct burial. Conduits in general shall be run exposed in warehouse area and concealed in office areas. Underground raceways shall be placed 24" below final grade.
4. Conductors shall be copper with 600 volt type THHN Insulation and shall be #12 AWG except as otherwise noted. Conductors in underground conduits shall be type XHHW Insulation approved for wet locations.
5. All work shall be grounded in accordance with Article 250 of the National Electrical Code. Building shall be adequately grounded.
6. Panel boards shall be dead front safety type with circuit breakers, 480 volt, three phase, four wire service and shall conform to requirements of NEMA and NEC. The required circuit breaker amps shall be designed and arranged to accommodate the "Full Phase" project design for total building and yard electrical operating needs including additional power requirements for task light fixtures and fans that are furnished and installed by others (see drawings). An additional 800 amp circuit breaker shall be provided for accommodating FedEx's material handling requirements. Also provide 11, 110 volt, 20 amp circuit breakers for FedEx's material handling controls.
7. Furnish and install power and control wiring to all electrically operated or controlled equipment.
8. Exterior lighting shall be provided for all paved areas with commercial quality flood lighting fixtures, mounted either on the building or on light poles. All light poles within traffic and parking areas or in areas susceptible to damage shall be protected by bollards (refer detail 3/C-1) or other approved method. Lighting for the load/unload dock area shall be pole mounted at the pavement perimeter. Lighting shall be designed and installed to maintain a minimum illumination level of 1.0 foot-candle at 3'-0" above pavement level. Provide FedEx with a photometric design drawing verifying that a minimum level of 1.0 foot-candle has been provided throughout. Fixtures shall be operated from one photocell for automatic dusk-to-down lighting. shall be illuminated by a 90-watt high pressure sodium light fixture with photocells for automatic dusk-to-down lighting.

PROJECT NAME:



SHEET TITLE:

SPECIFICATIONS

NO.	DATE	REVISIONS	BY
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PROJECT NUMBER:  
 DATE: 09/24/03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

**AS BUILT**

SP. 2



10. Distribution Center interior lighting shall be High pressure sodium fixtures throughout, designed and installed to maintain a minimum illumination level of 20 foot-candles at 3'-0" above the finished floor. Additional (fluorescent) light fixtures shall be installed over the conveyors as shown on the drawings. Provide and install a zoned light switch bank on exterior office wall as shown on the office plan to operate all general building lighting. All fluorescent lighting shall be switched locally as shown on the drawings.

Garage building (if any) interior lighting shall be metal halide fixtures designed and installed to maintain a minimum illumination level of 50 foot-candles at 3'-0" above finished floor throughout.

11. Office lighting shall be recessed fluorescent fixtures, designed and installed to maintain a minimum illumination level of 70 foot-candles at 3'-0" above finished floor throughout the office area.

12. Each restroom shall be provided with one 100 watt light fixture above the mirror and lavatory area in addition to the fluorescent lighting required to meet 40 foot-candles. Provide one GFCI electric outlet over the lavatory.

13. In addition to the required duplex outlets provided to conform with code, additional (special) color coded outlets on independent circuits and specifically located outlets shall be provided as shown on the drawings.

14. Dock light fixtures and fan units shall be provided at each 8' x 9' dock door.

15. Provide and install isolated grounded outlet next to telephone backboard.

16. Cover plates shall be provided for all switches, receptacles, phone outlets, etc. and blank plates for all unused outlets.  
A. Plates shall be non-breakable nylon and match device color.  
B. Plates for outlets in the dock area shall be galvanized pressed steel.  
C. Devices mounted outdoors shall be UL listed for wet locations.

PROJECT NAME:



SHEET TITLE:

SPECIFICATIONS

NO.	DATE	REVISIONS	BY
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PROJECT NUMBER:

DATE: 09/19/03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

FILE NAME: C:\DAVETEMP\

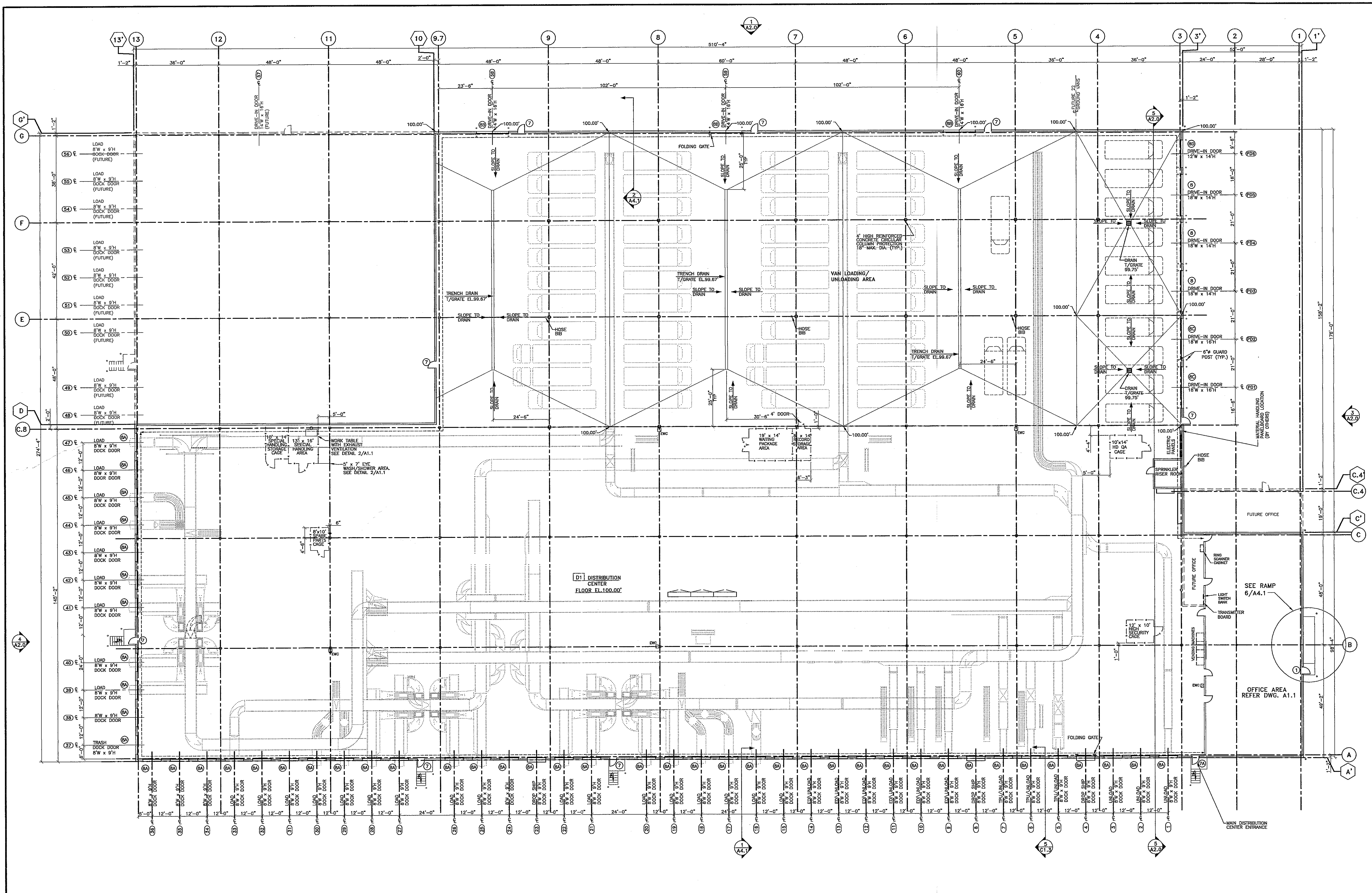
SHEET NUMBER

**AS BUILT**

SP. 3







**FLOOR PLAN** FINISH FLOOR ELEVATION = 100'-0"  
 1" = 20'-0"

PROJECT NAME:  
**FedEx Ground** 3901 HANSON ROAD  
 MADISON, WISCONSIN

SHEET TITLE:  
**BUILDING FLOOR PLAN**

NO.	DATE	REVISIONS	BY
11-17-03		ADDED CONV. VANS, SECTIONS & RAMP DET. DAN	
10-28-03		ADDED DOORS, REV. COL., DIM. DAN	

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

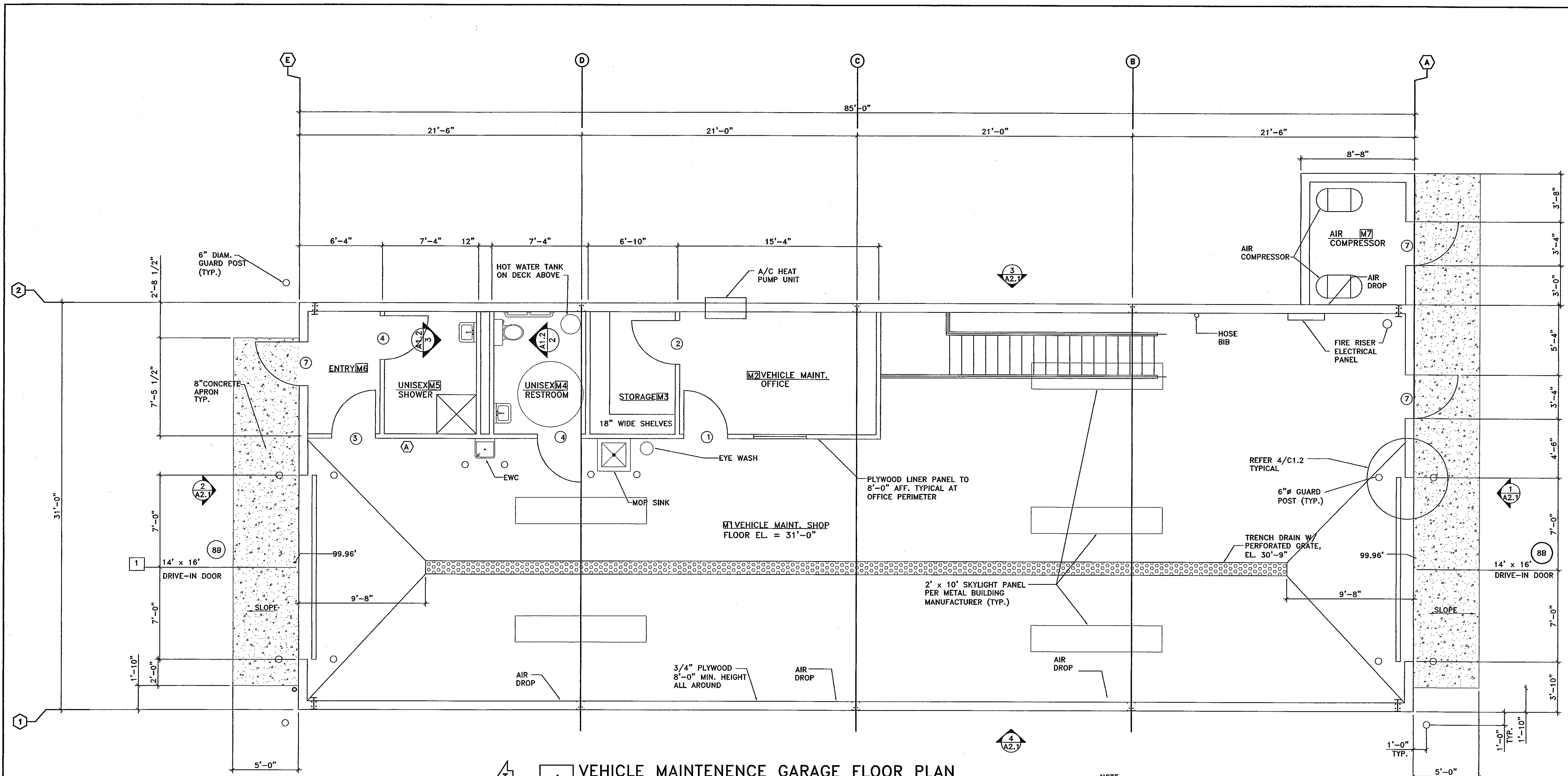
NOTES:  
 1. CONVEYER EQUIPMENT TO BE FURNISHED AND INSTALLED BY TENANT.  
 2. DISTRIBUTION AREA WILL BE HEATED.

**AS BUILT**

SHEET NUMBER  
**A1.0**

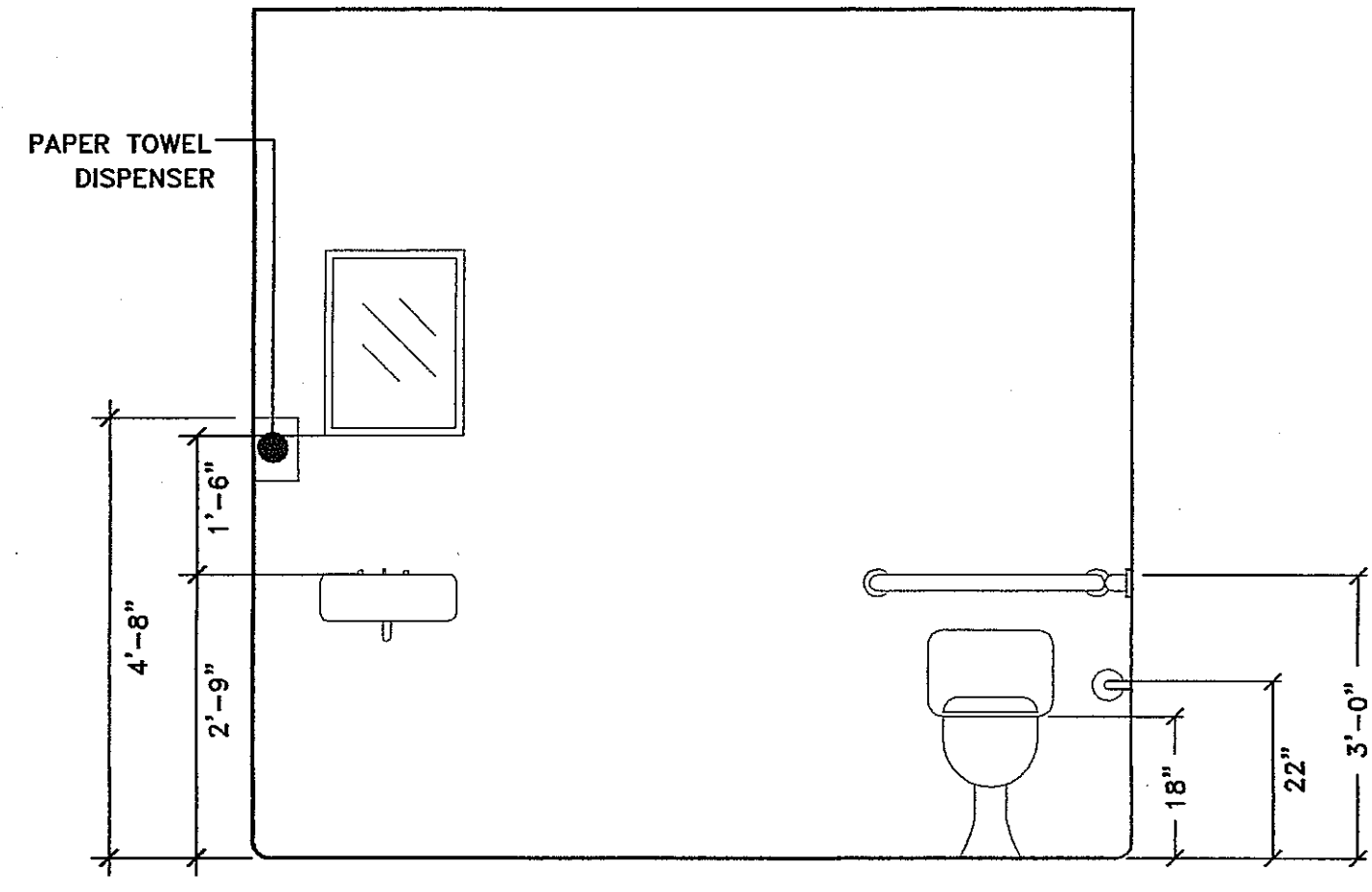




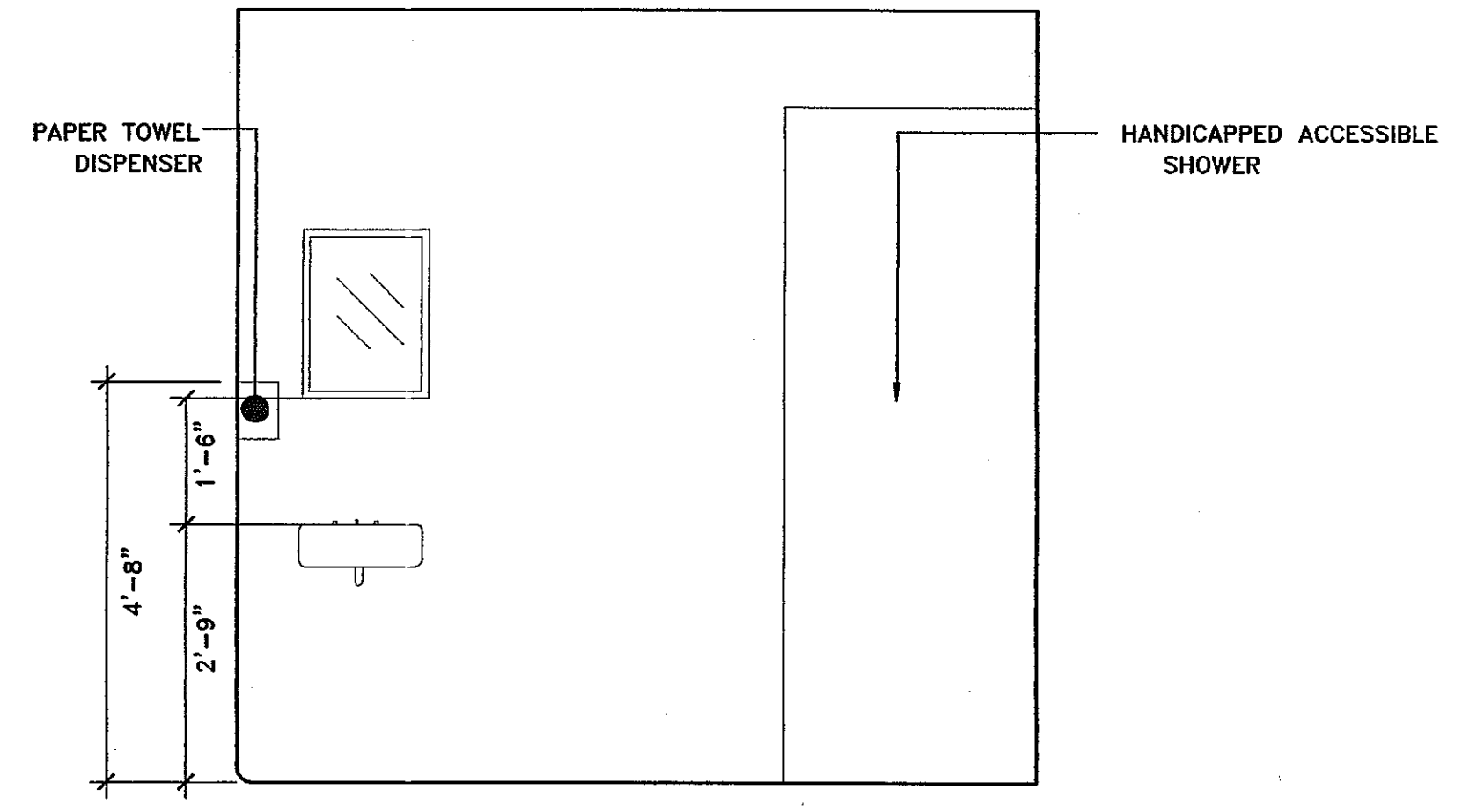


**1 VEHICLE MAINTENANCE GARAGE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

NOTE:  
 - MAINTENANCE GARAGE WILL BE HEATED  
 - ALL MANDOORS SHALL BE 3'-0" X 7'-0" HOLLOW METAL W/ HOLLOW METAL FRAMES.



**2 UNISEX BATHROOM**  
 1/2" = 1'-0"



**3 UNISEX SHOWER**  
 1/2" = 1'-0"

**BUILDING INFORMATION:**  
 - BUILDING AREA:  
 GROUND FLOOR 2,722 SF  
 MEZZANINE 456 SF

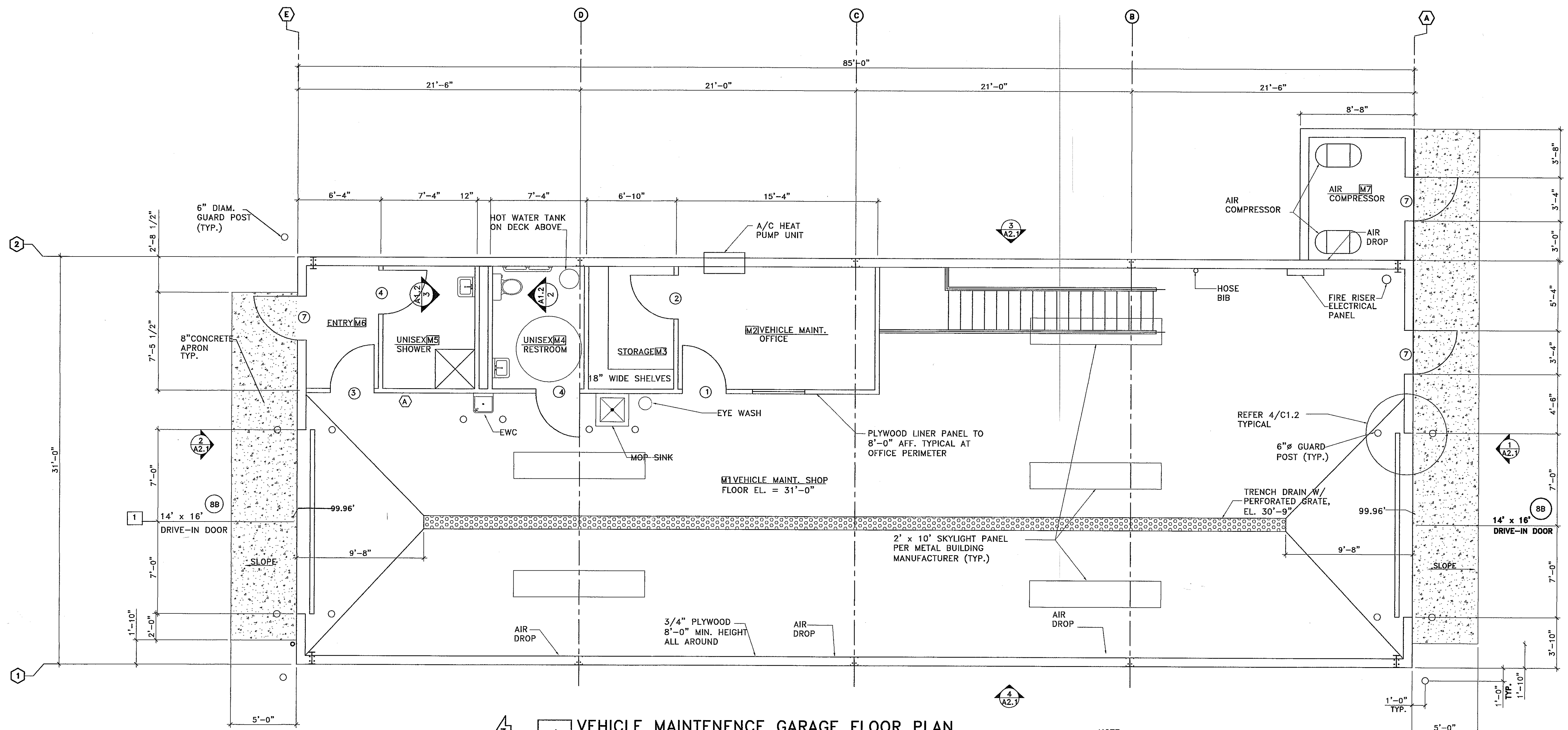
- TYPE VB CONSTRUCTION
- SI OCCUPANCY
- NO SPRINKLER SYSTEM

PROJECT NAME:  
**FedEx Ground**  
 3901 HANSON ROAD  
 MADISON, WISCONSIN

SHEET TITLE:  
 VEHICLE MAINTENANCE GARAGE  
 FLOOR PLAN

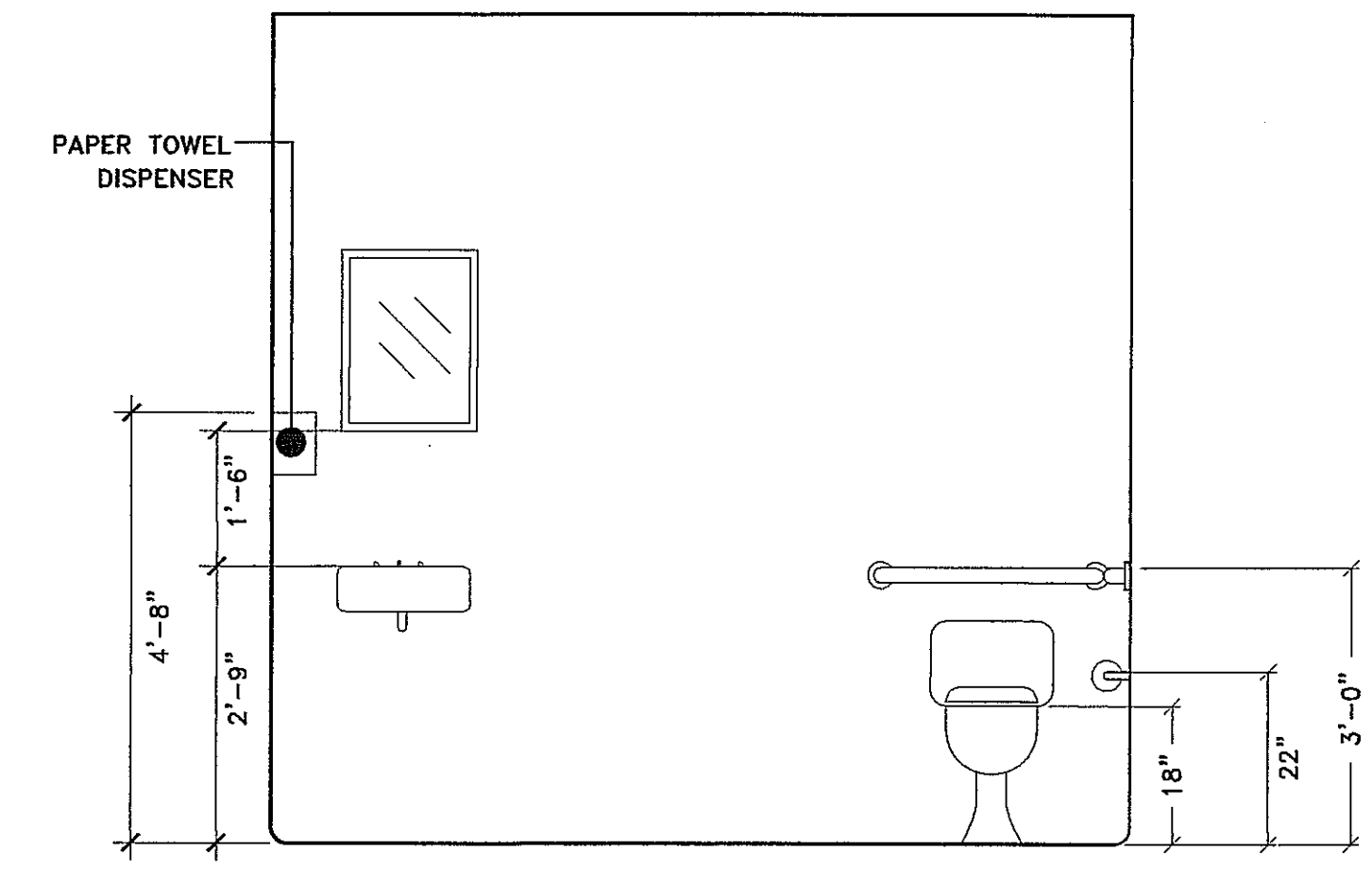
NO.	DATE	REVISIONS	BY
△	5-27-04	REV. TYPE OF CONST	DAN
△	4-30-04	REV. PLAN	DAN
△	10-13-03	REV. PLAN	DAN

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

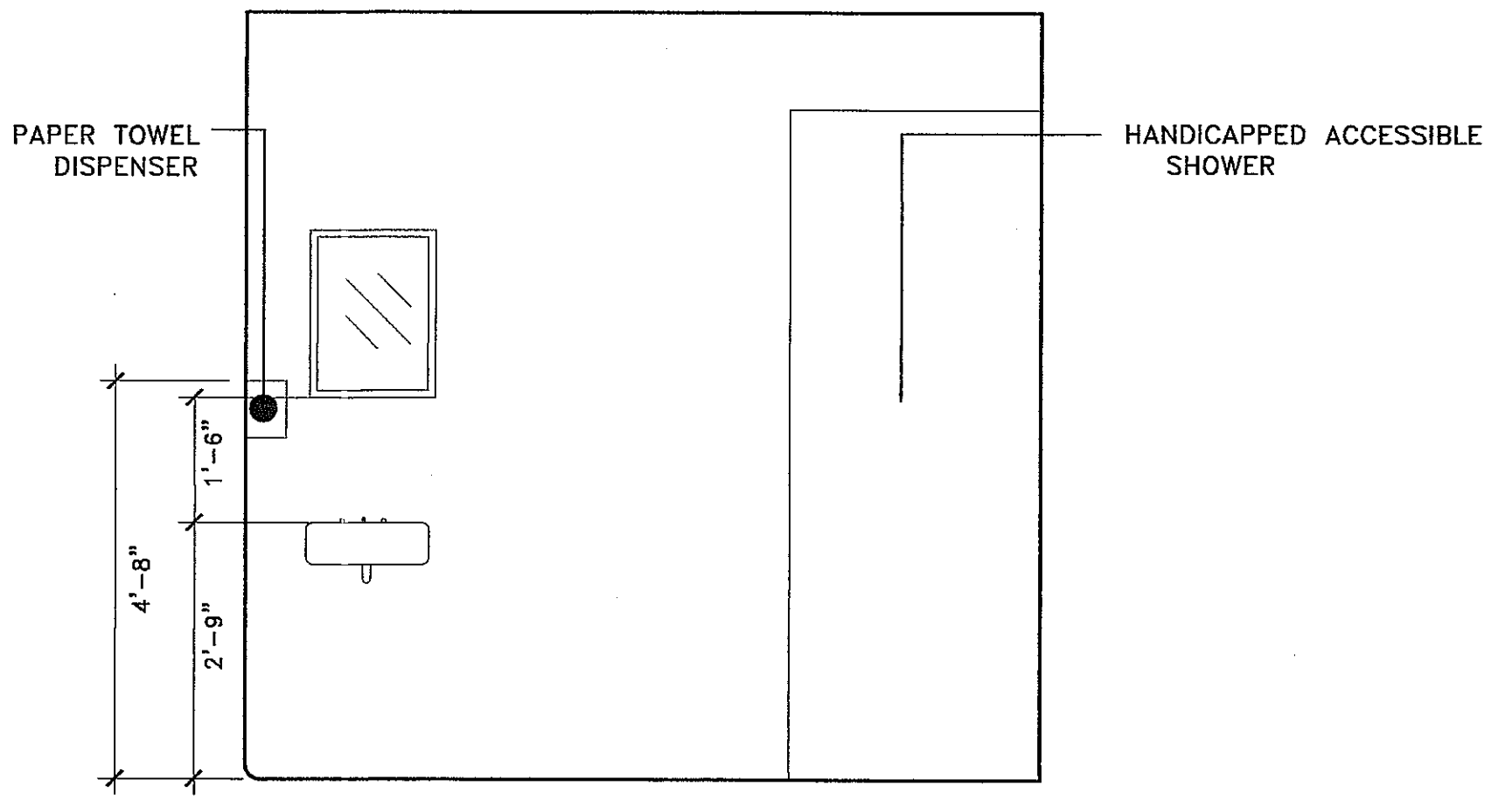


**1 VEHICLE MAINTENANCE GARAGE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

NOTE:  
 - MAINTENANCE GARAGE WILL BE HEATED  
 - ALL MANDOORS SHALL BE 3'-0" X 7'-0"  
 HOLLOW METAL W/ HOLLOW METAL FRAMES.



**2 UNISEX BATHROOM**  
 1/2" = 1'-0"



**3 UNISEX SHOWER**  
 1/2" = 1'-0"

BUILDING INFORMATION:  
 - BUILDING AREA:  
 GROUND FLOOR 2,722 SF  
 MEZZANINE 456 SF  
 - TYPE IIB CONSTRUCTION  
 - S1 OCCUPANCY  
 - NO SPRINKLER SYSTEM

PROJECT NAME:  
**FedEx Ground**  
 3901 HANSON ROAD  
 MADISON, WISCONSIN

SHEET TITLE:  
 VEHICLE MAINTENANCE GARAGE  
 FLOOR PLAN

NO.	DATE	REVISIONS	BY
4	4-30-04	REV. PLAN	DAN
3	10-13-03	REV. PLAN	DAN

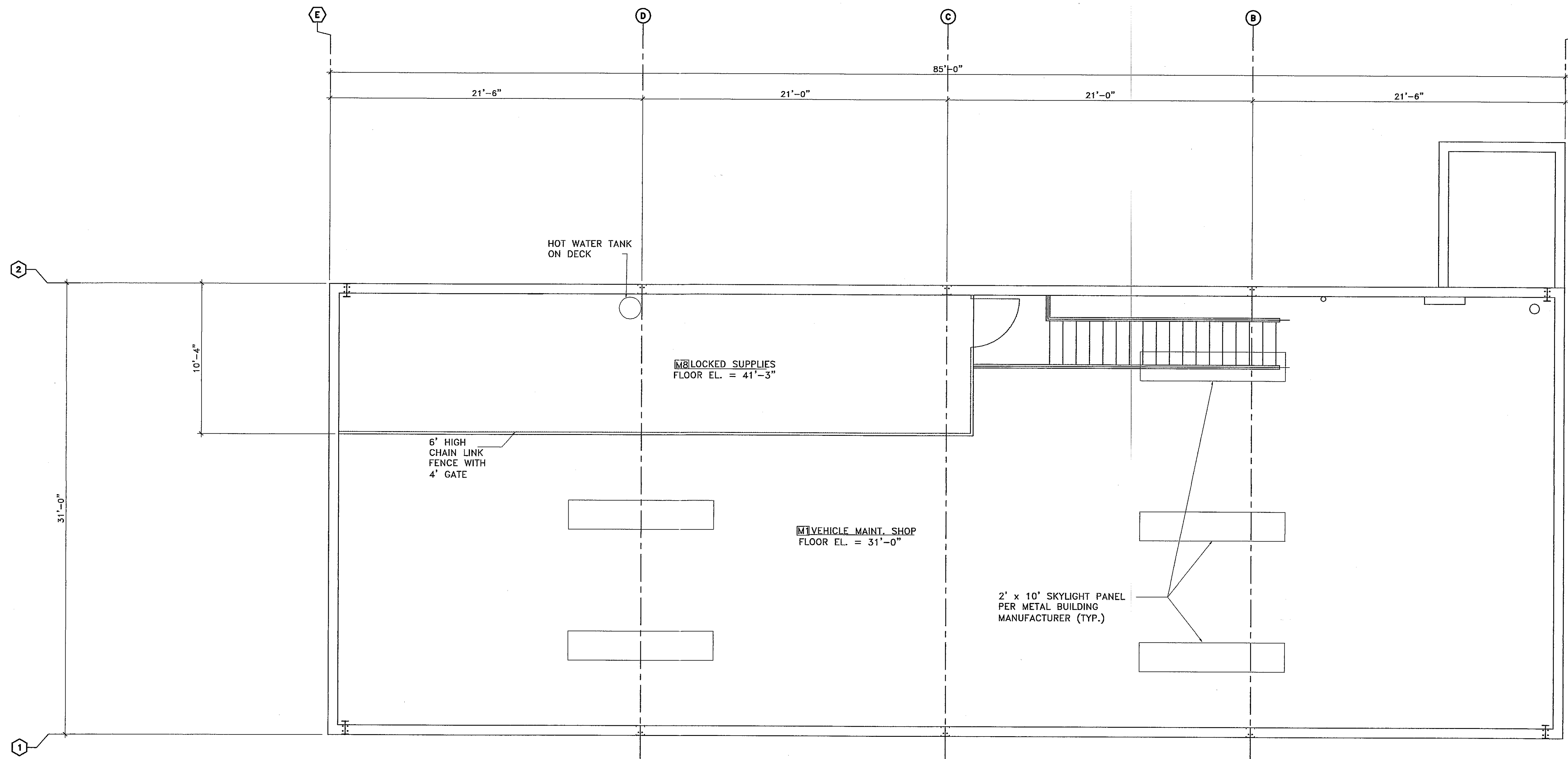
PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

**AS BUILT**

SHEET NUMBER

A1.2





**1 VEHICLE MAINTENANCE GARAGE MEZZANINE PLAN**  
SCALE: 1/4"=1'-0"

NOTE:  
MAINTENANCE GARAGE WILL BE HEATED

PROJECT NAME:



SHEET TITLE:  
VEHICLE MAINTENANCE GARAGE  
MEZZANINE FLOOR PLAN

NO.	DATE	REVISIONS	BY
△	04-29-04	REV. PLAN	DAN
△	10-13-03	REV. PLAN	DAN

PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

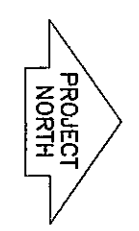
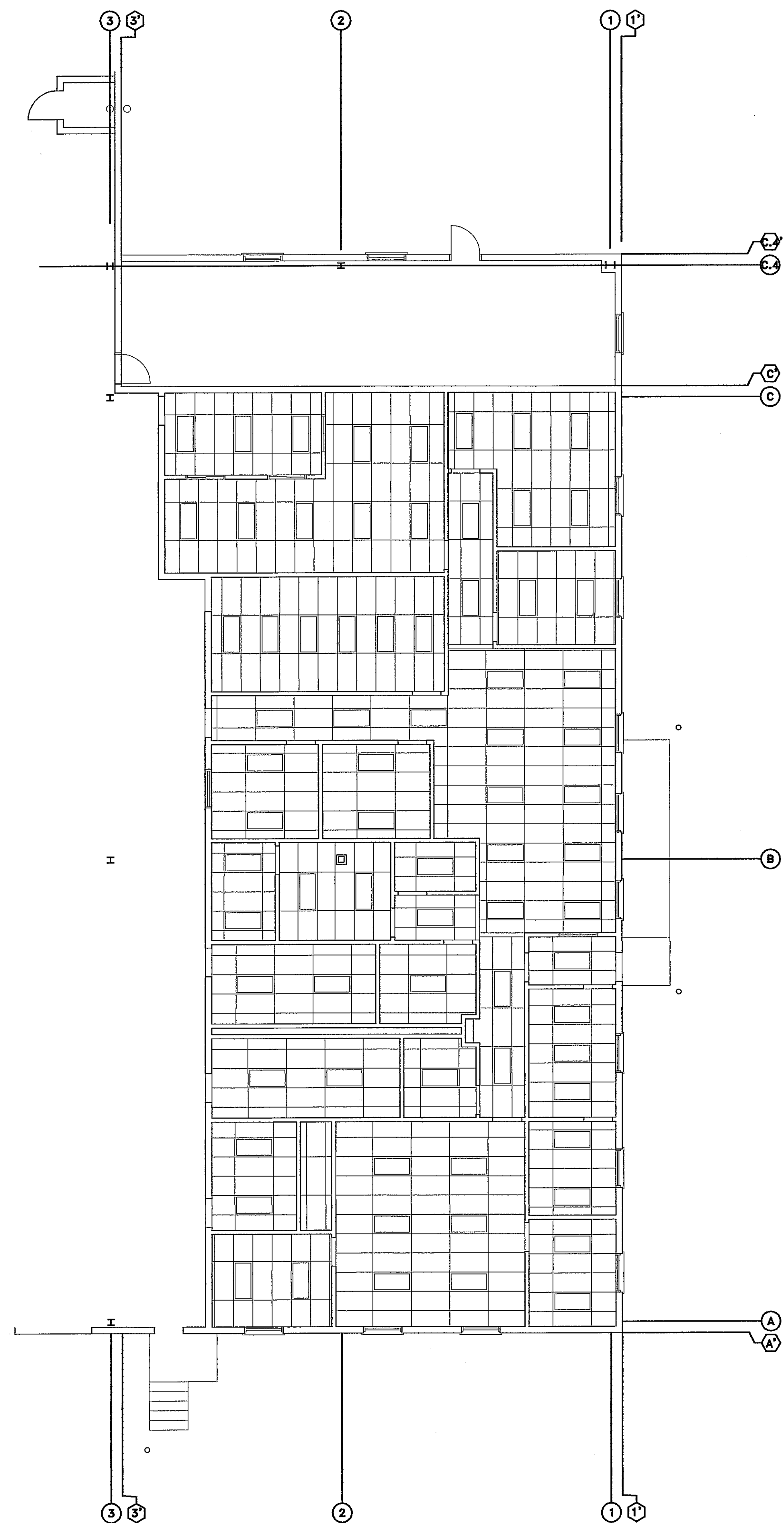
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**AS BUILT**

SHEET NUMBER  
**A1.2A**







**OFFICE FLOOR PLAN - PHASE 1**  
SCALE: 1/8"=1'-0"

PROJECT NAME:



SHEET TITLE:

CEILING FLOOR PLAN

NO.	DATE	REVISIONS	BY
1	03-23-04	NEW DRWG ISSUE	DAN

PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

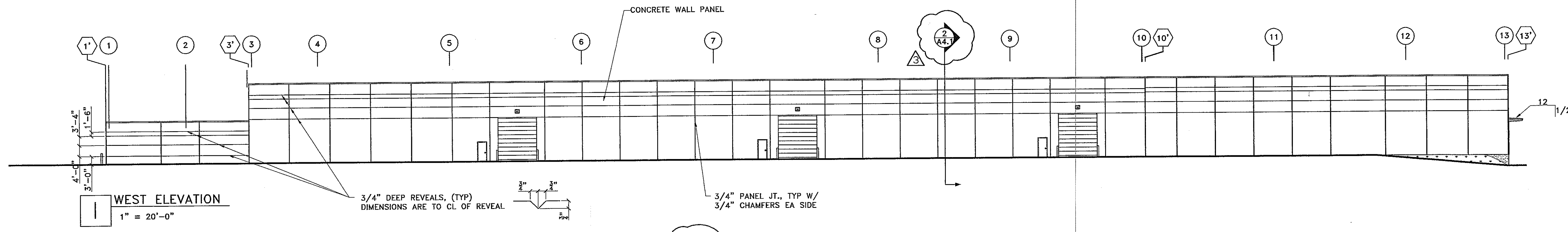
PROJECT MANAGER: D. NELSEN

FILE NAME: C:\DAVETEMP\

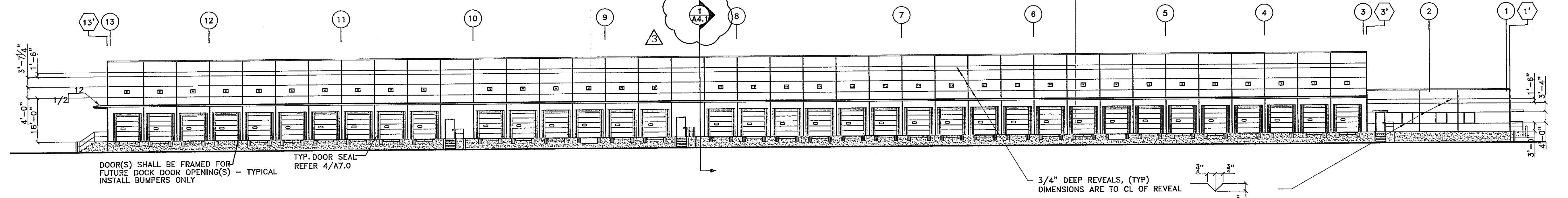
SHEET NUMBER

**AS BUILT**

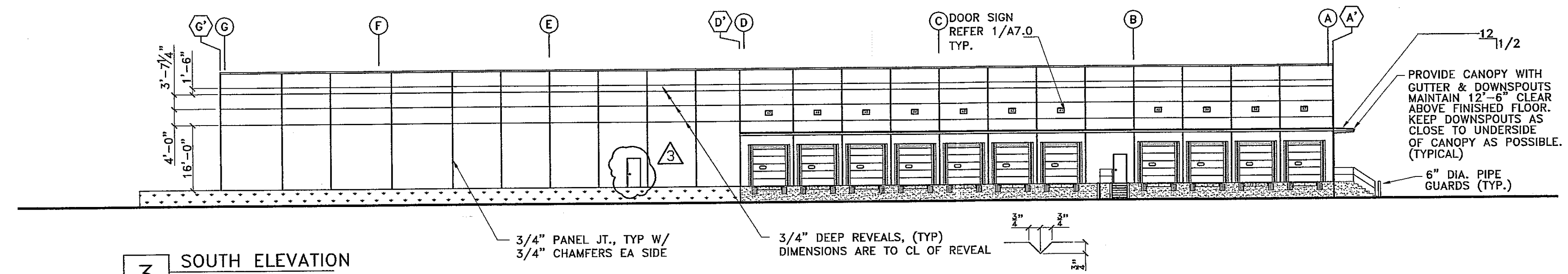
A1.4



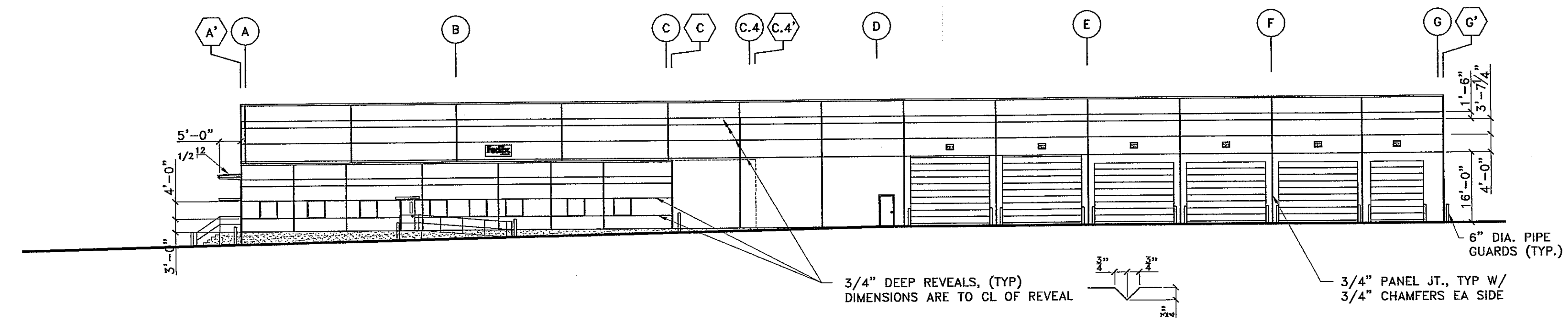
**1 WEST ELEVATION**  
1" = 20'-0"



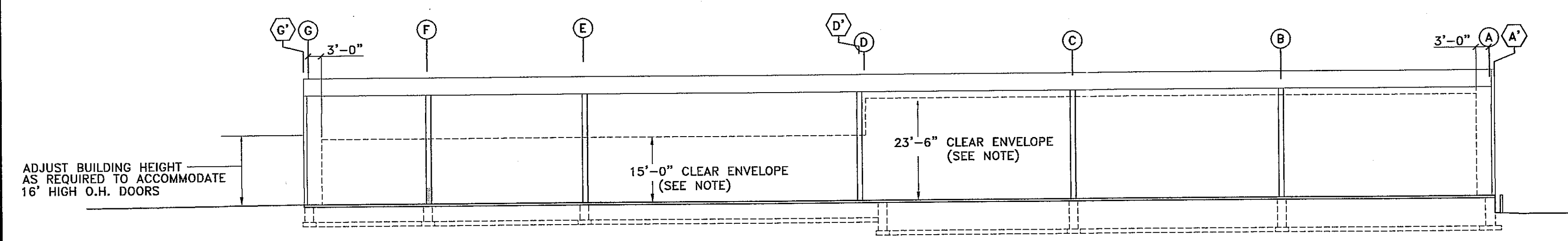
**2 EAST ELEVATION**  
1" = 20'-0"



**3 SOUTH ELEVATION**  
1" = 20'-0"



**4 NORTH SECTION**  
1" = 20'-0"



**5 TYPICAL CROSS SECTION**  
1" = 20'-0"

PROJECT NAME:



SHEET TITLE:

BUILDING ELEVATIONS

NO.	DATE	REVISIONS	BY
3	11-17-03	DOOR, REV SECT.	MRKS DAN
2	10-23-03	FLAT ROOF	DAN
1	10-15-03	ADD RUSTICATION	DAN

PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

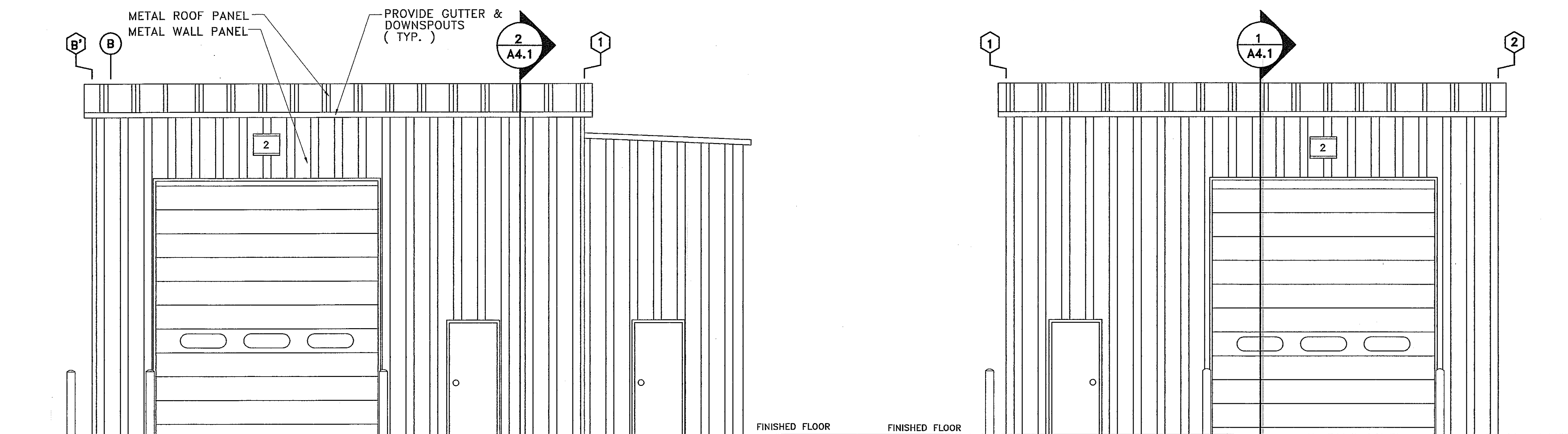
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SHEET NUMBER

**AS BUILT**

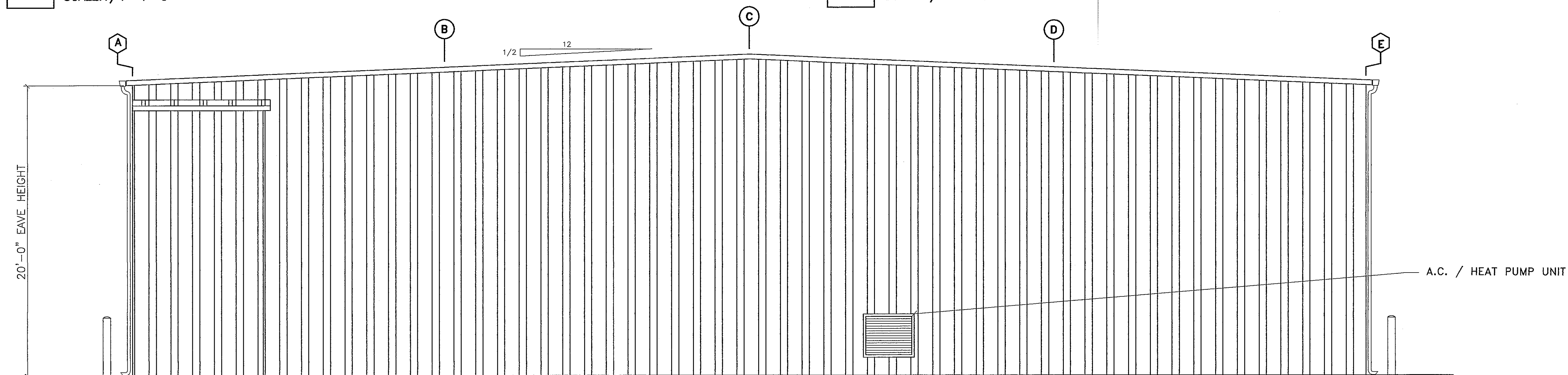
A2.0



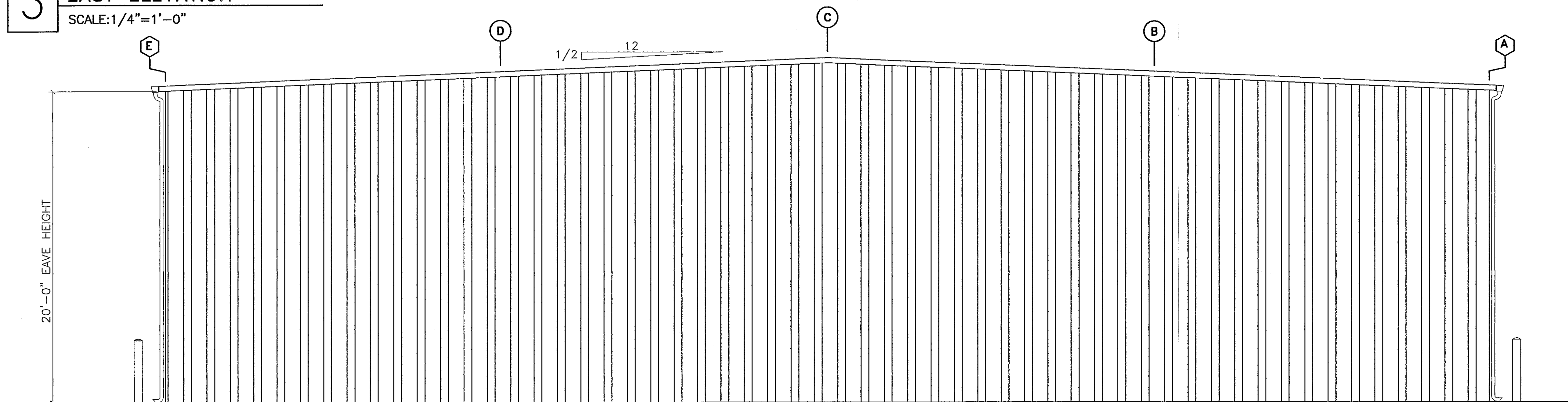


**1** SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

**2** NORTH ELEVATION  
SCALE: 1/4"=1'-0"



**3** EAST ELEVATION  
SCALE: 1/4"=1'-0"



**4** WEST ELEVATION  
SCALE: 1/4"=1'-0"

NOTES:  
1. VEHICLE MAINTENANCE GARAGE AREA WILL BE HEATED.

PROJECT NAME:



SHEET TITLE:  
VEHICLE MAINTENANCE BUILDING -  
ELEVATIONS

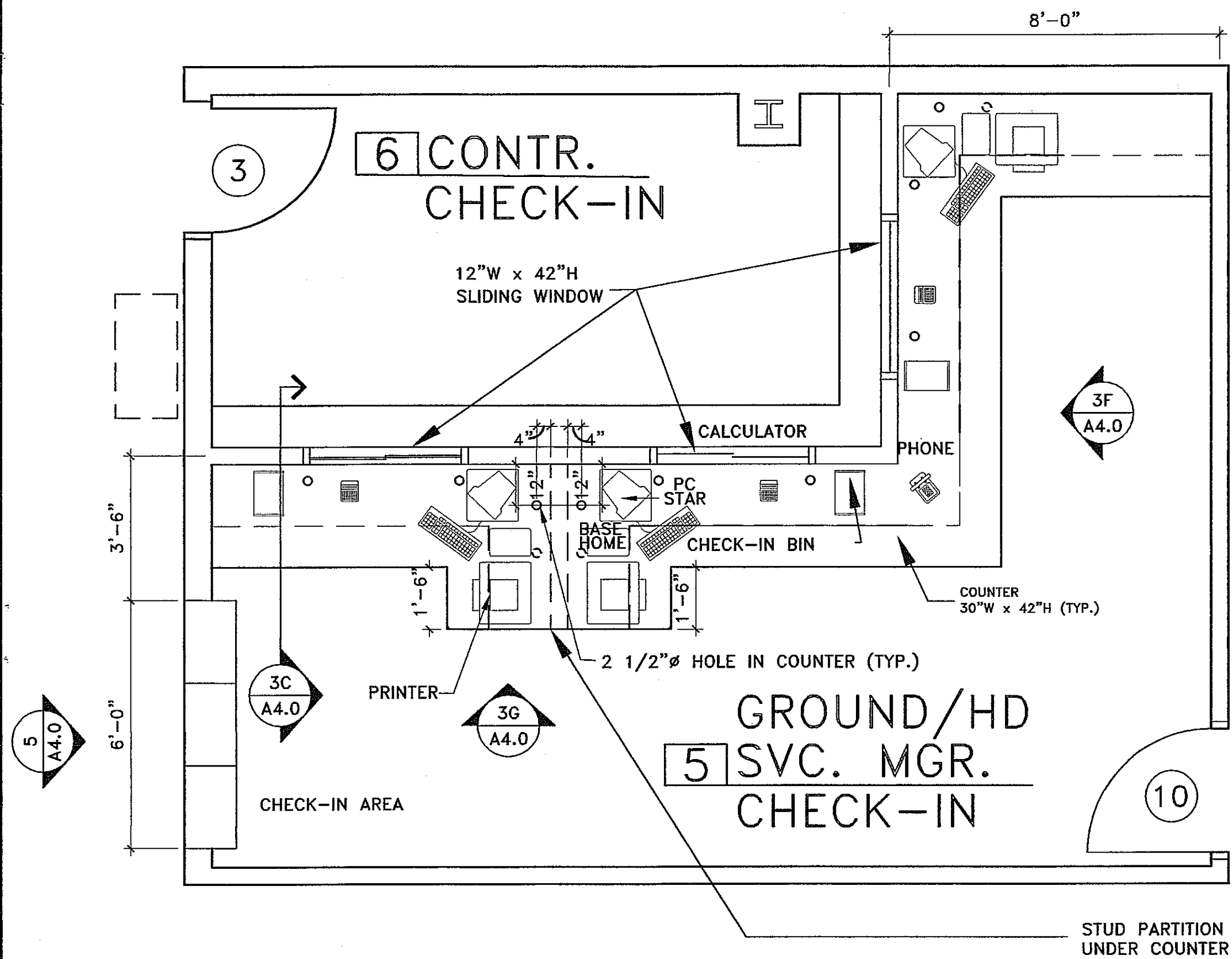
NO.	DATE	REVISIONS	BY
4-29-04		REVISED PLAN	DAN

PROJECT NUMBER:  
DATE: 9-24-03  
DRAWN BY: DAN  
CHECKED BY: D. NELSEN  
PROJECT MANAGER: D. NELSEN  
FILE NAME: C:\DAVETEMP\

SHEET NUMBER

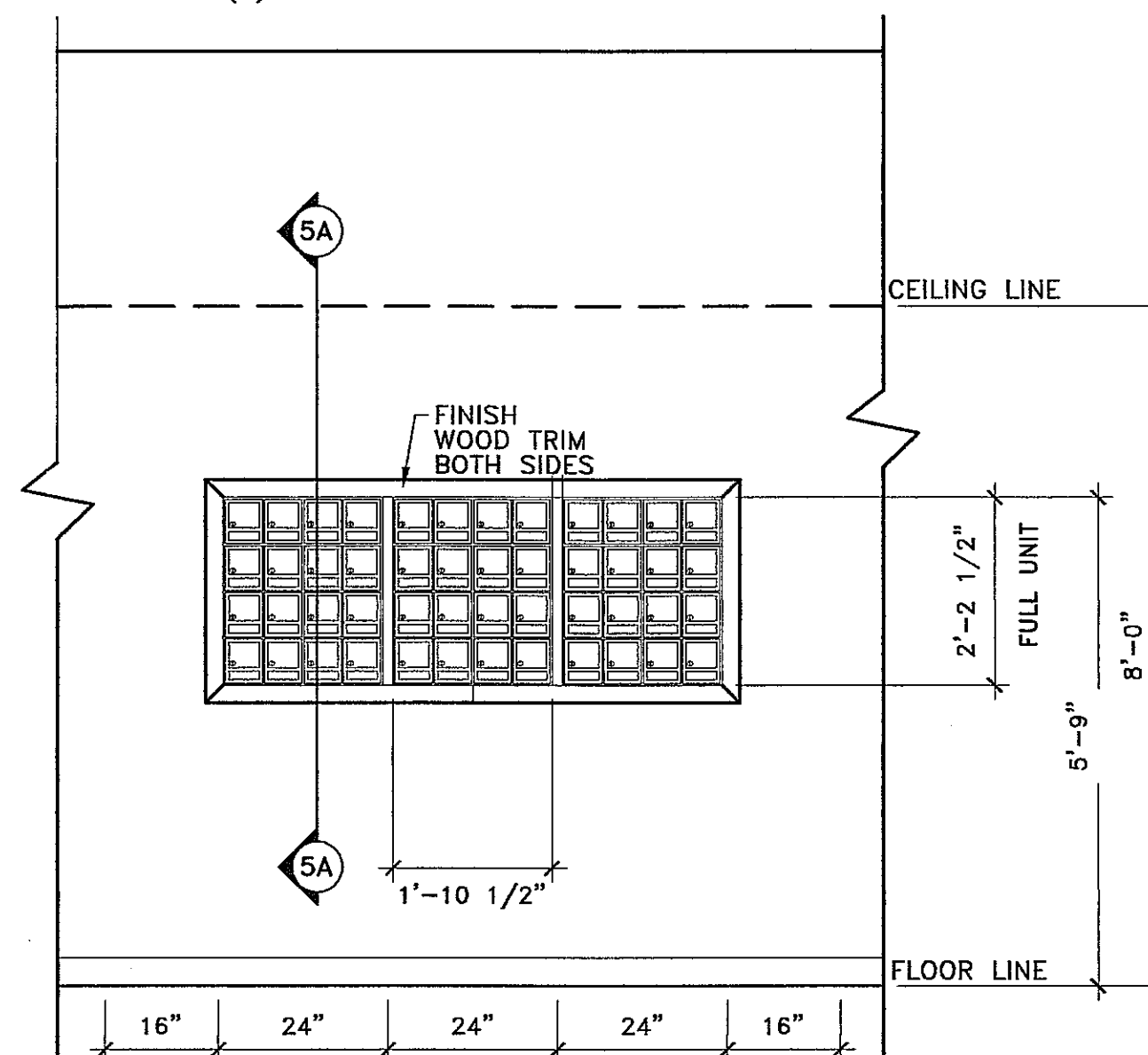
**AS BUILT**

A2. 1

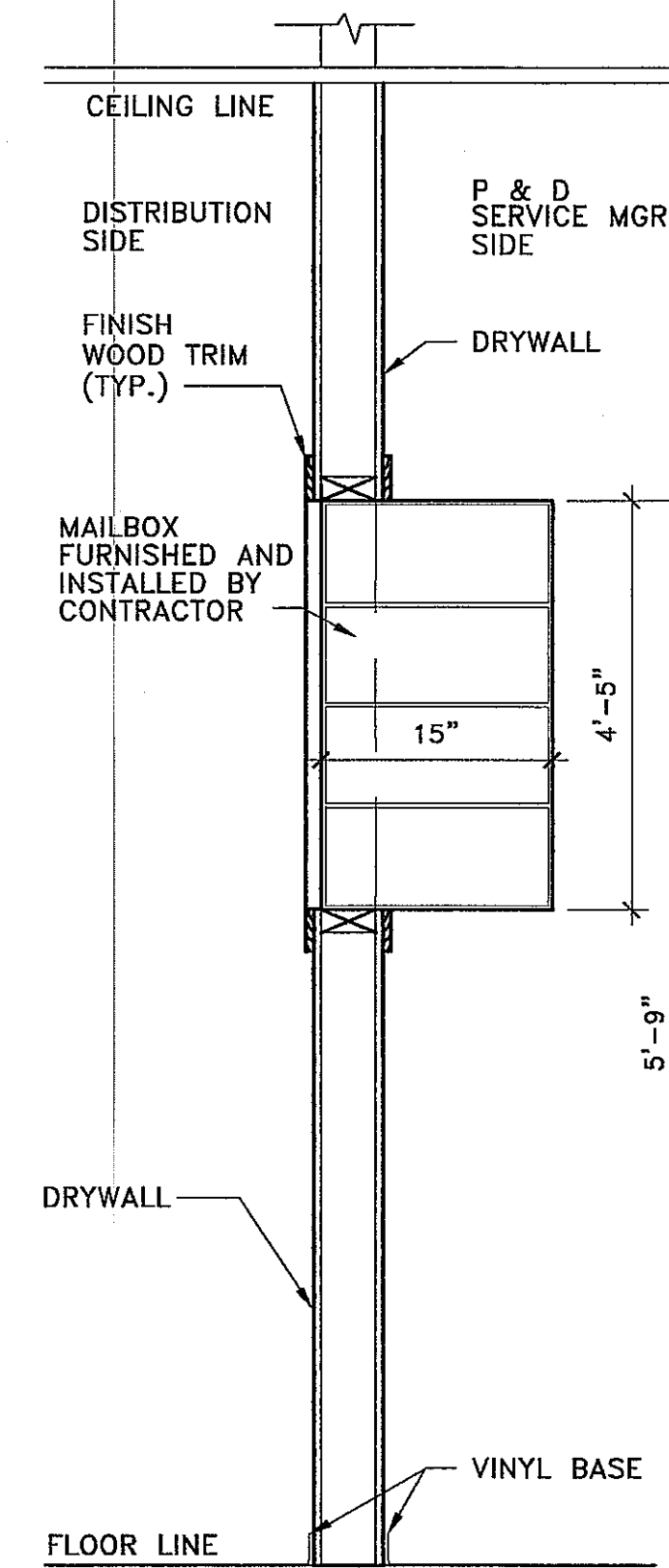


**3A** CHECK-IN AREA FLOOR PLAN  
 3/8" = 1'-0"

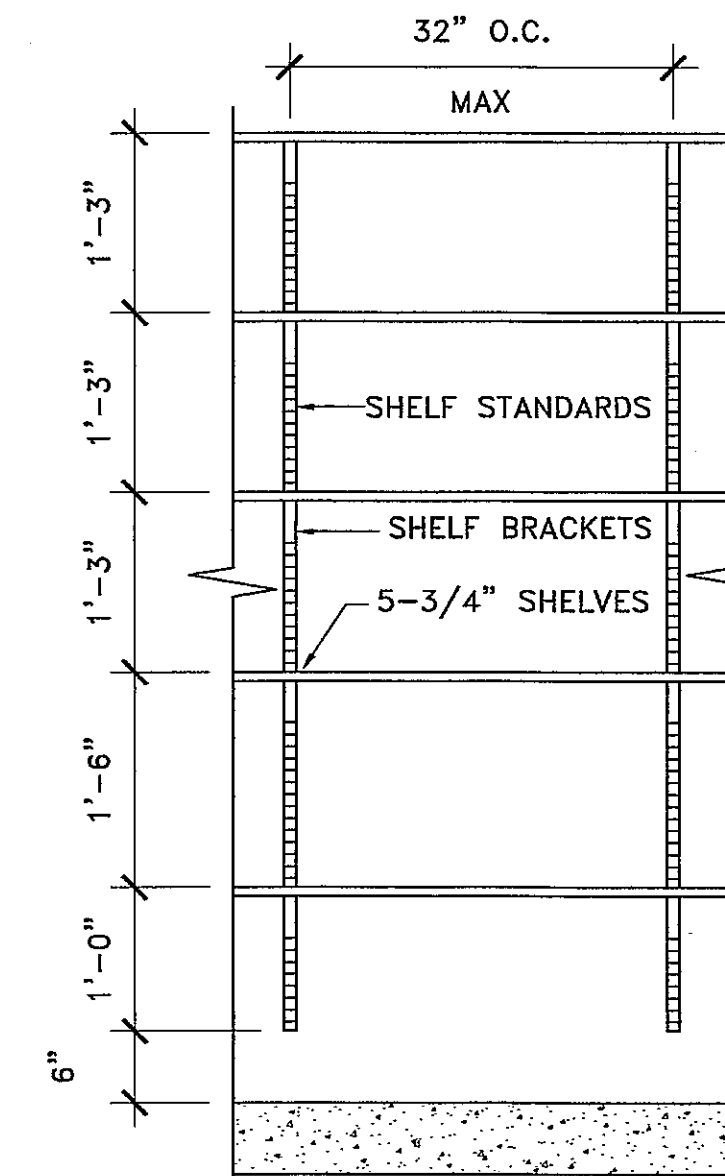
- NOTES:**
- STANDARD ROUGH OPENING FOR ONE FULL (16 BOX) UNIT IS 22-1/2"W X 26-1/2" H  
 STANDARD ROUGH OPENING FOR ONE HALF (8 BOX) UNIT IS 22-1/2"W X 14-1/2" H  
 (3 FULL UNITS AND 3 HALF UNITS ARE SHOWN).
  - INSTALLATION SIMILAR FOR MASONRY CONSTRUCTION: PROVIDE ADEQUATE LINTEL SUPPORT AND BLOCK OUT AREA TO ACCOMMODATE FUTURE MAILBOX(ES).
  - THIS DETAIL IS FOR "REFERENCE ONLY". FOR ACTUAL NUMBER OF FULL AND/OR HALF UNITS REQUIRED, REFER TO OFFICE FLOOR PLAN.
  - MAILBOXES ARE NON-FIRE RATED. PROVIDE FIRE SHUTTER(S) IF REQUIRED BY CODE.



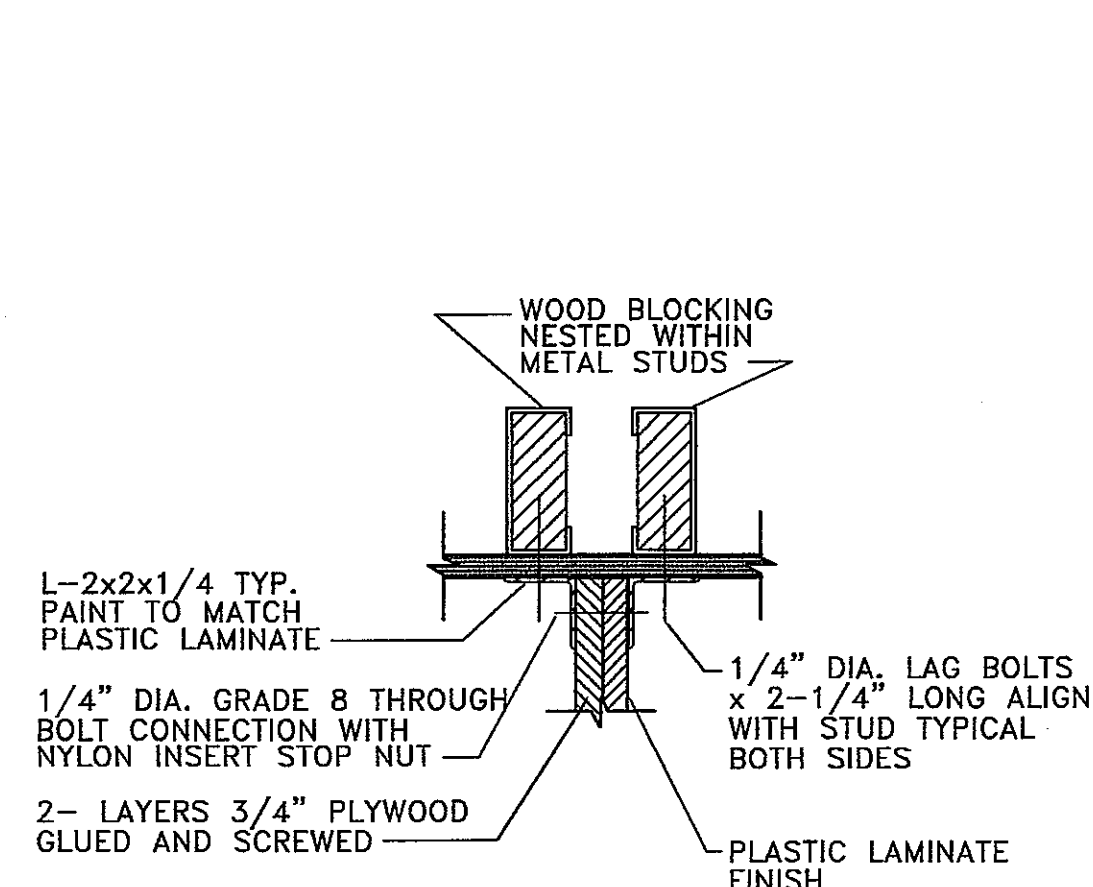
**5** FRONT ELEVATION  
 SCALE: 1/2" = 1'-0"



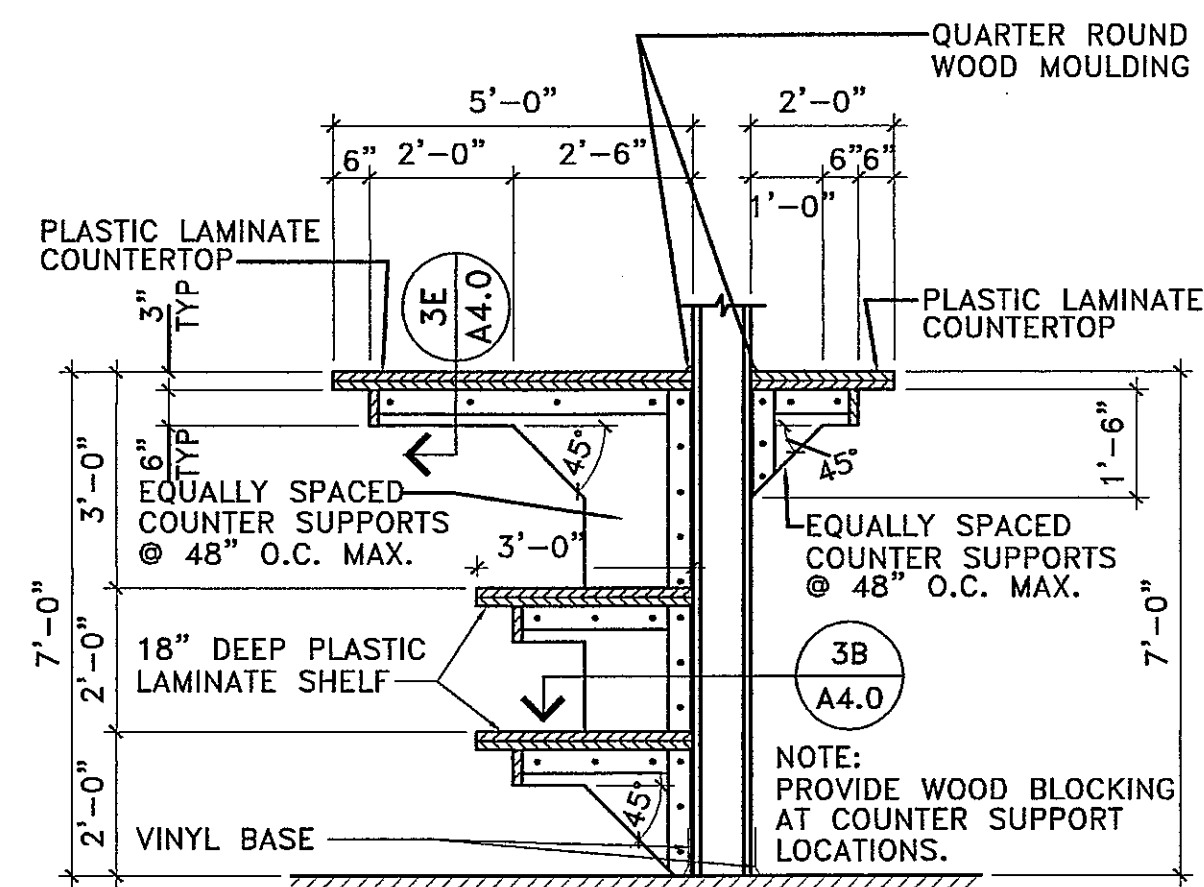
**5A** SECTION A-A  
 SCALE: 1/2" = 1'-0"



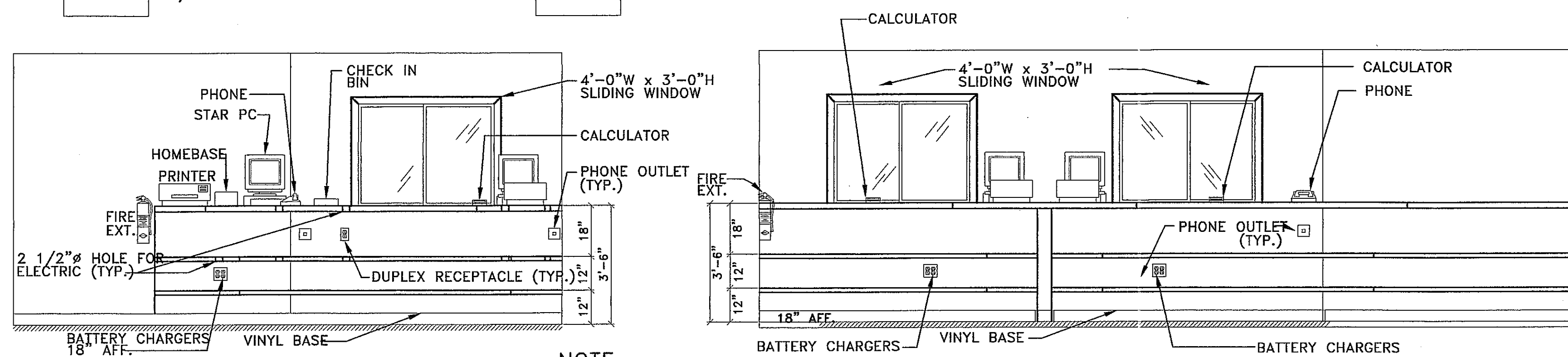
**5B** SECTION A-A  
 SCALE: 3/4" = 1'-0"



**3B** COUNTER DETAIL  
 3/8" = 1'-0"



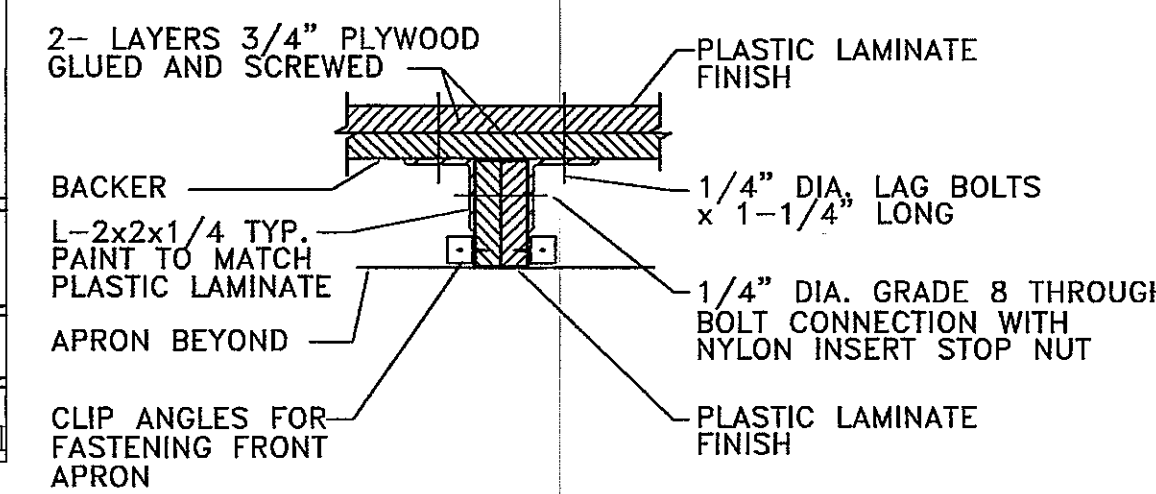
**3C** CHECK-IN COUNTER SECTION  
 3/8" = 1'-0"



**3F** ELEVATION  
 3/8" = 1'-0"

- NOTE:**
- ALL PHONE OUTLETS AND DUPLEX RECEPTACLES IN THIS ROOM ARE TO BE INSTALLED AT 32" AFF UNLESS NOTED OTHERWISE.
  - PROVIDE 2-1/2" DIAM. HOLES W/ GROMMETS ABOVE ALL RECEPTACLES IN OFFICE COUNTERS EXCEPT IN ROOMS 5 & 6 SEE DETAIL 3A FOR HOLES IN COUNTER IN ROOMS 5 & 6

**3G** ELEVATION  
 3/8" = 1'-0"



**3E** COUNTER DETAIL  
 3/8" = 1'-0"

PROJECT NAME:



SHEET TITLE:

OFFICE FLOOR PLAN

NO.	DATE	REVISIONS	BY

PROJECT NUMBER:

DATE: 9-24-03

DRAWN BY: DAN

CHECKED BY: D. NELSEN

PROJECT MANAGER: D. NELSEN

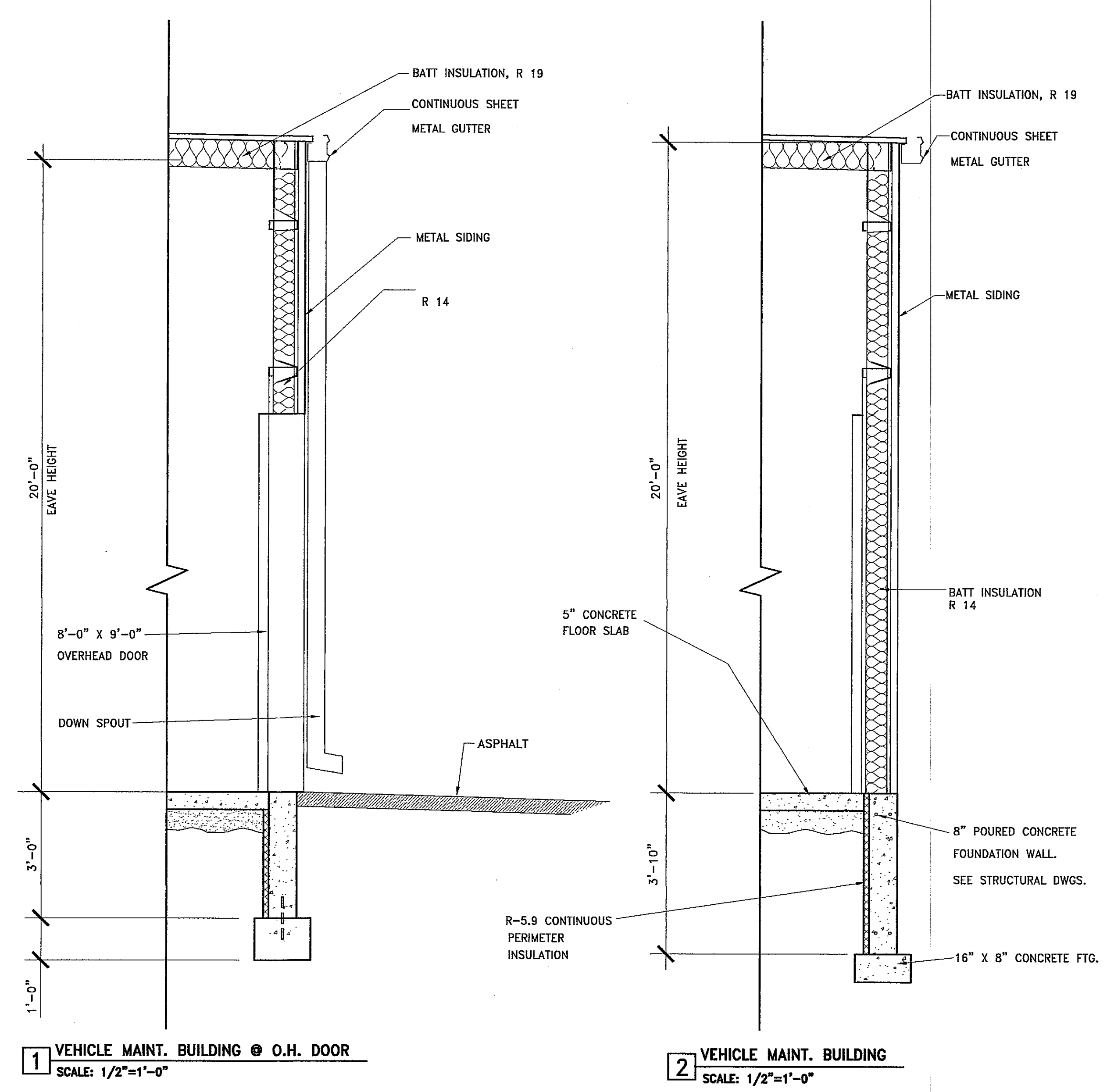
FILE NAME: C:\DAVETEMP\

SHEET NUMBER

**AS BUILT**

A4.0





**1** VEHICLE MAINT. BUILDING @ O.H. DOOR  
SCALE: 1/2"=1'-0"

**2** VEHICLE MAINT. BUILDING  
SCALE: 1/2"=1'-0"

PROJECT NAME:  
**FedEx** Ground 3901 HANSON ROAD  
MADISON, WISCONSIN

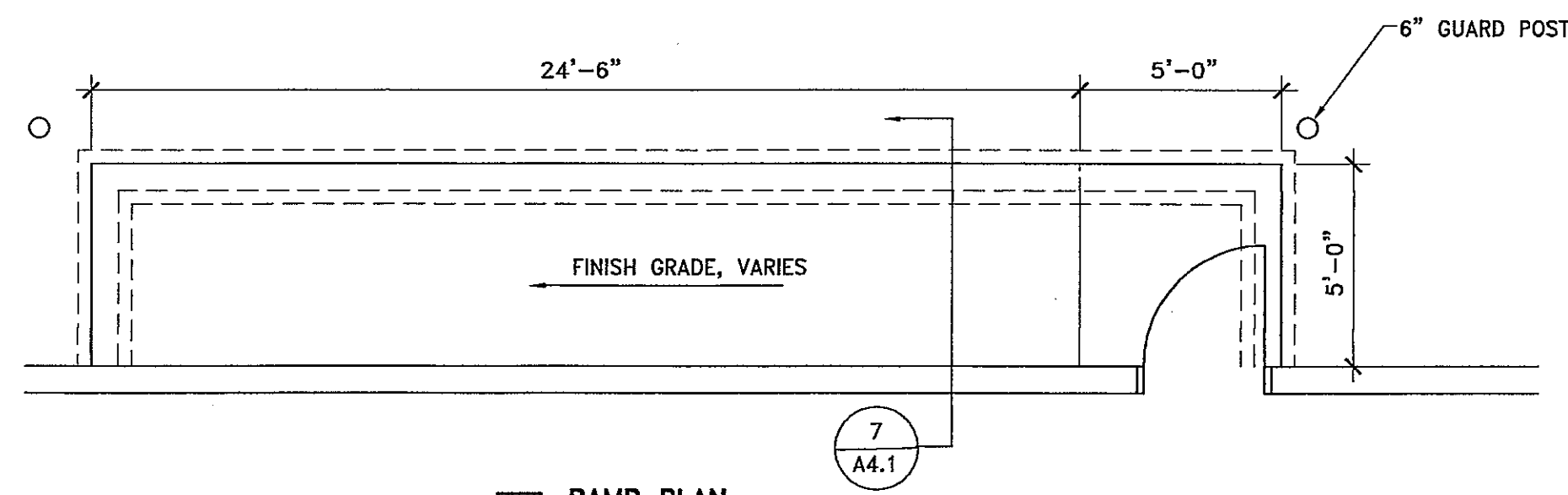
SHEET TITLE:  
VEHICLE MAINTENANCE GARAGE  
WALL SECTIONS

NO.	DATE	REV. PLAN	BY
4-30-04			DAN

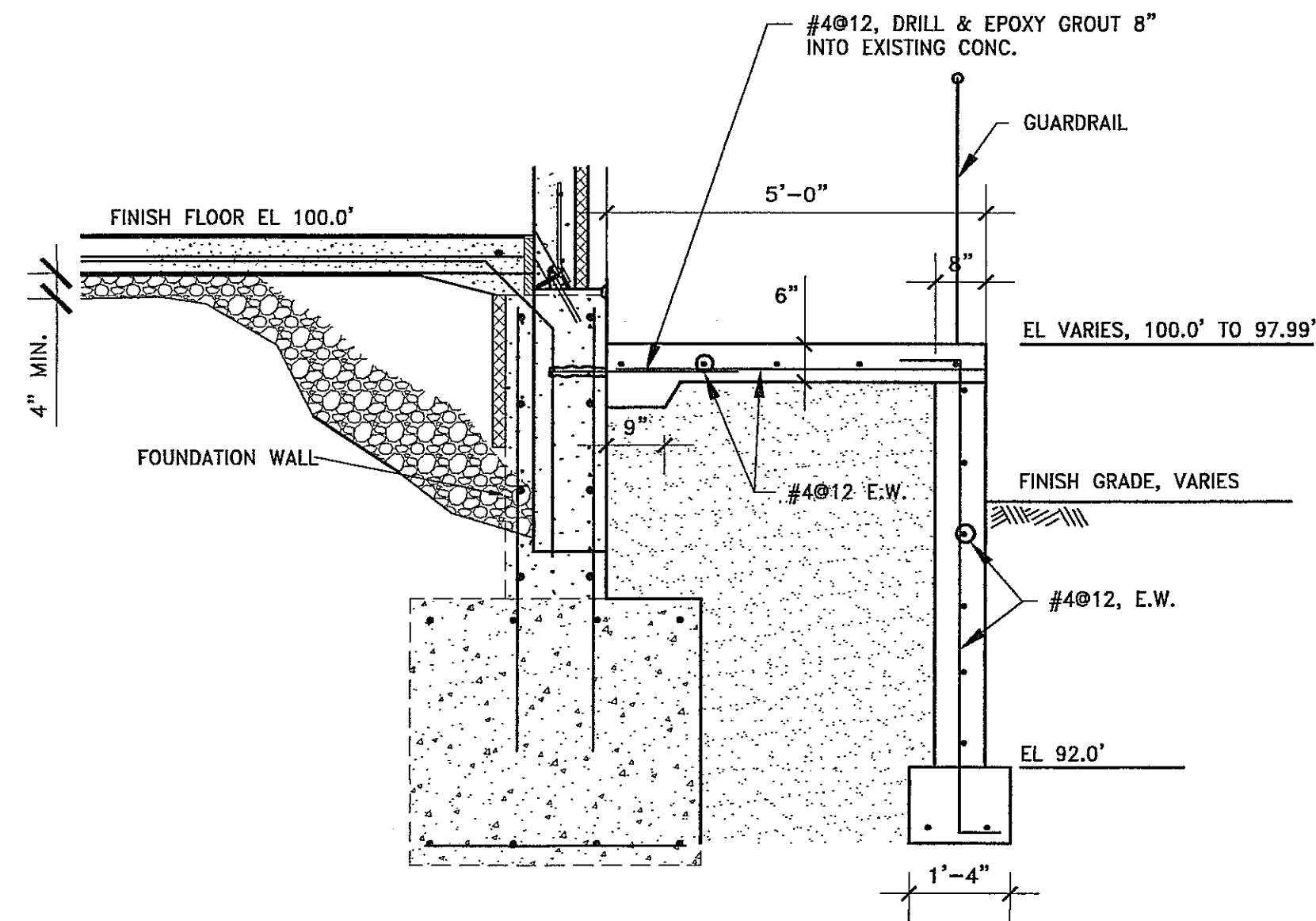
PROJECT NUMBER:  
DATE: 9-24-03  
DRAWN BY: DAN  
CHECKED BY: D. NELSEN  
PROJECT MANAGER: D. NELSEN  
FILE NAME: C:\DAVETEMP\

**AS BUILT**

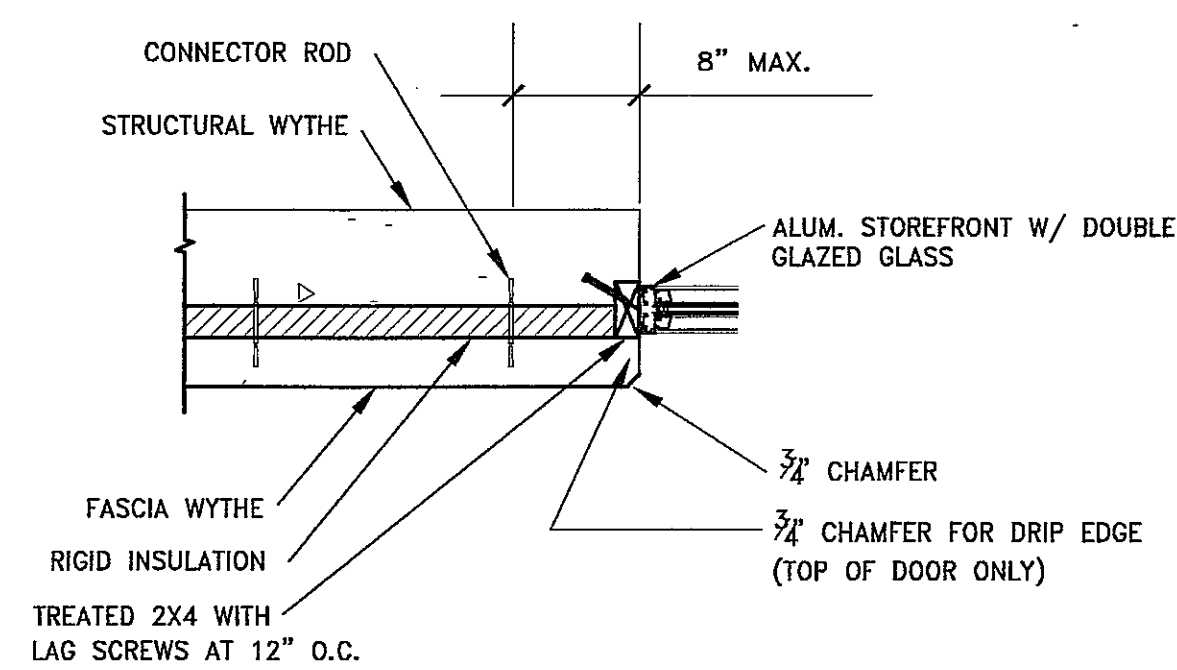
SHEET NUMBER  
A4. 1



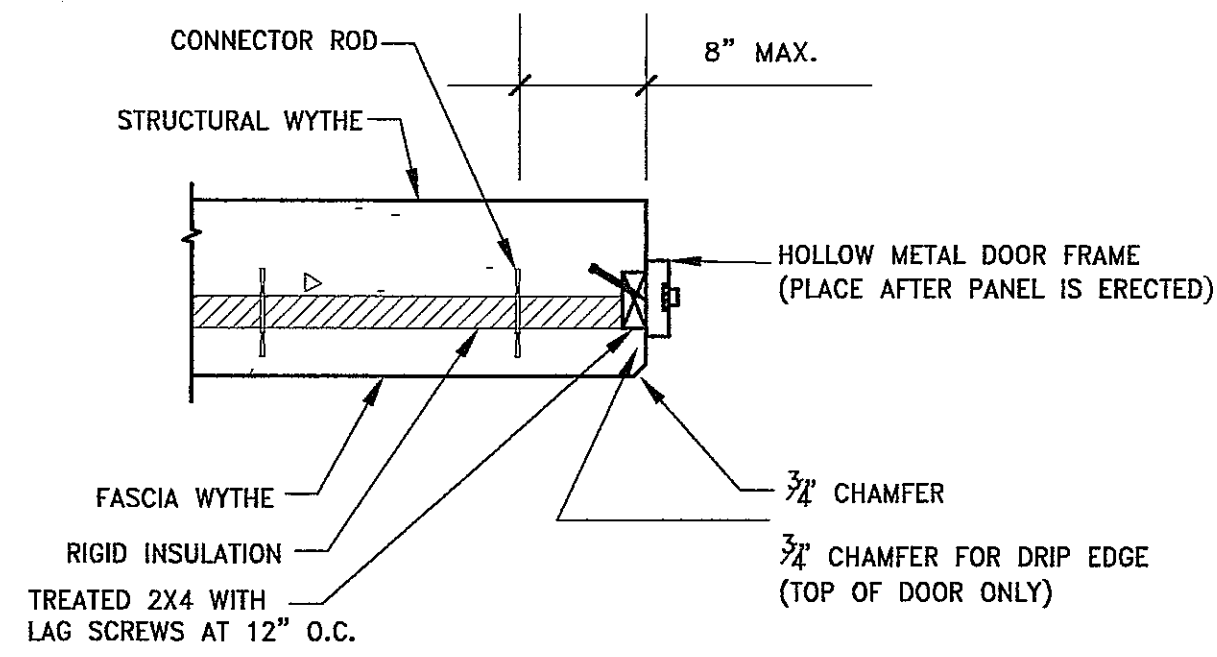
**6 RAMP PLAN**  
SCALE: 1/4"=1'-0"



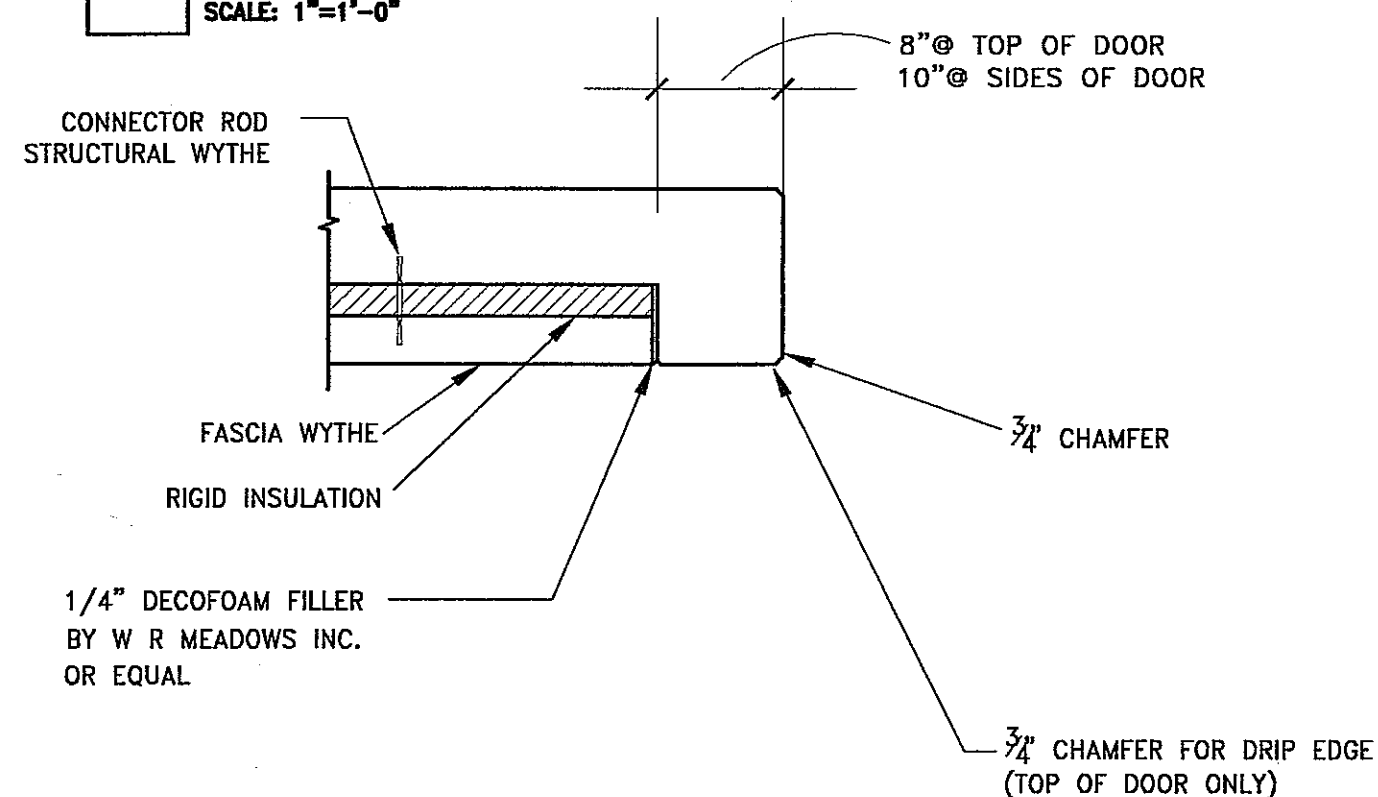
**7 RAMP SECTION**  
SCALE: 1/2"=1'-0"



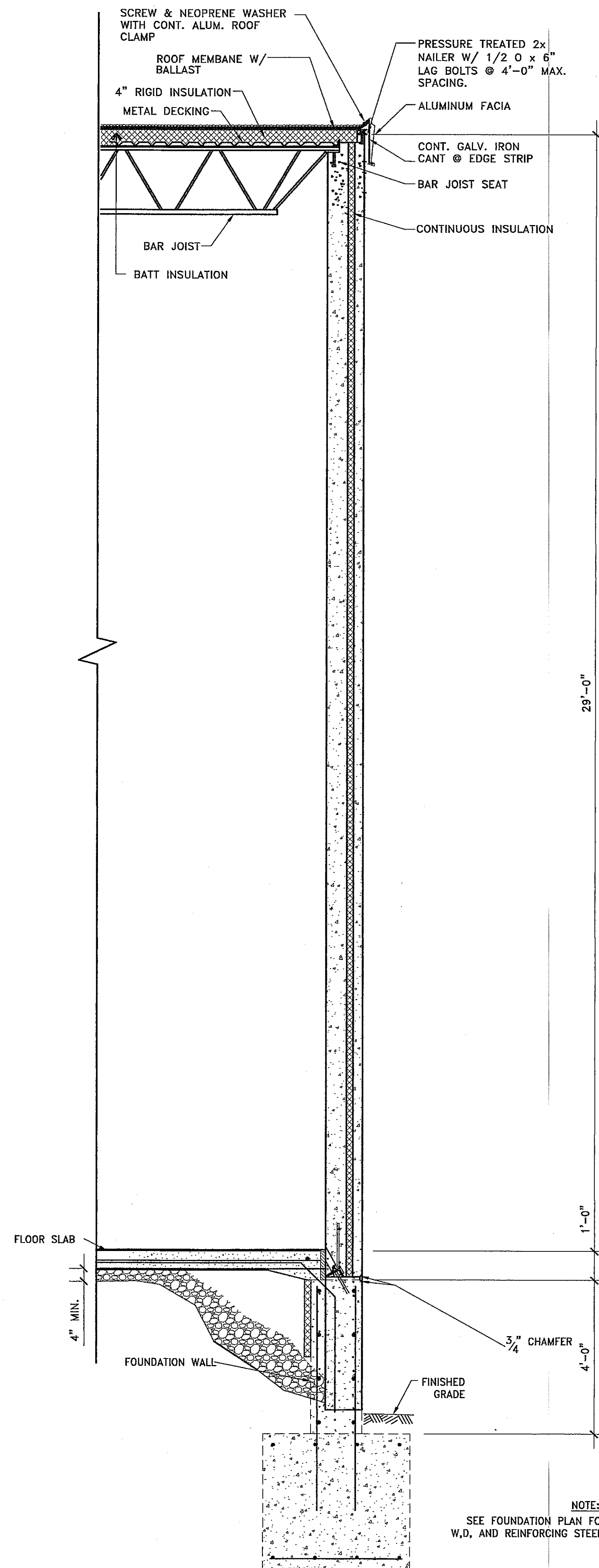
**3 SECTION - INSULATED PANEL @ WINDOW**  
SCALE: 1"=1'-0"



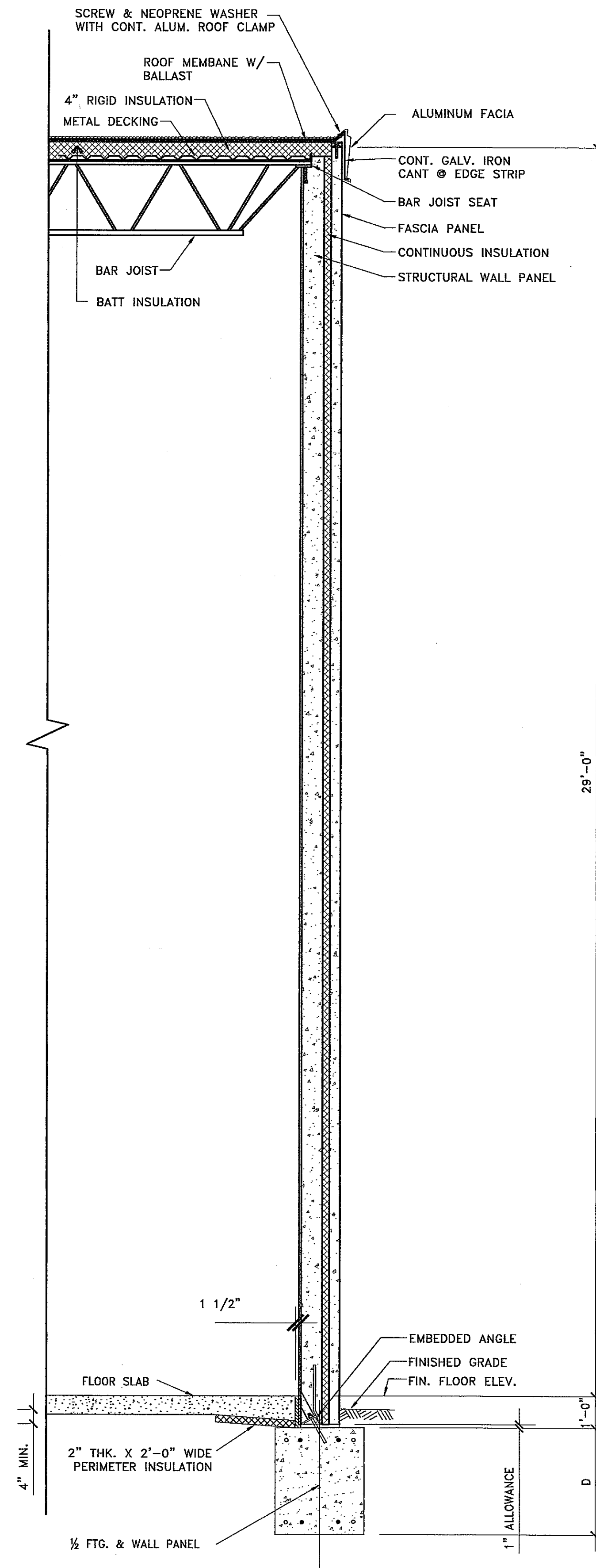
**4 SECTION - INSULATED PANEL H.M. DOOR FRAME**  
SCALE: 1"=1'-0"



**5 SECTION - INSULATED PANEL DOCK DOOR OPENINGS**  
SCALE: 1"=1'-0"



**1 TYP. WALL SECTION @ OFFICE & WAREHOUSE**  
SCALE: 1/2"=1'-0"



**2 TYP. WALL SECTION @ WAREHOUSE**  
SCALE: 1/2"=1'-0"

NOTE:  
SEE FOUNDATION PLAN FOR  
W.D. AND REINFORCING STEEL.

PROJECT NAME:



SHEET TITLE:  
SECTIONS & DETAILS

NO.	DATE	REVISIONS	BY
1	11-17-03	RAMP DET., DEL. SECT.	DAN

PROJECT NUMBER:  
DATE: 9-24-03  
DRAWN BY: DAN  
CHECKED BY: D. NELSEN  
PROJECT MANAGER: D. NELSEN  
FILE NAME: C:\DAVETEMP\

SHEET NUMBER

**AS BUILT**

A4.2

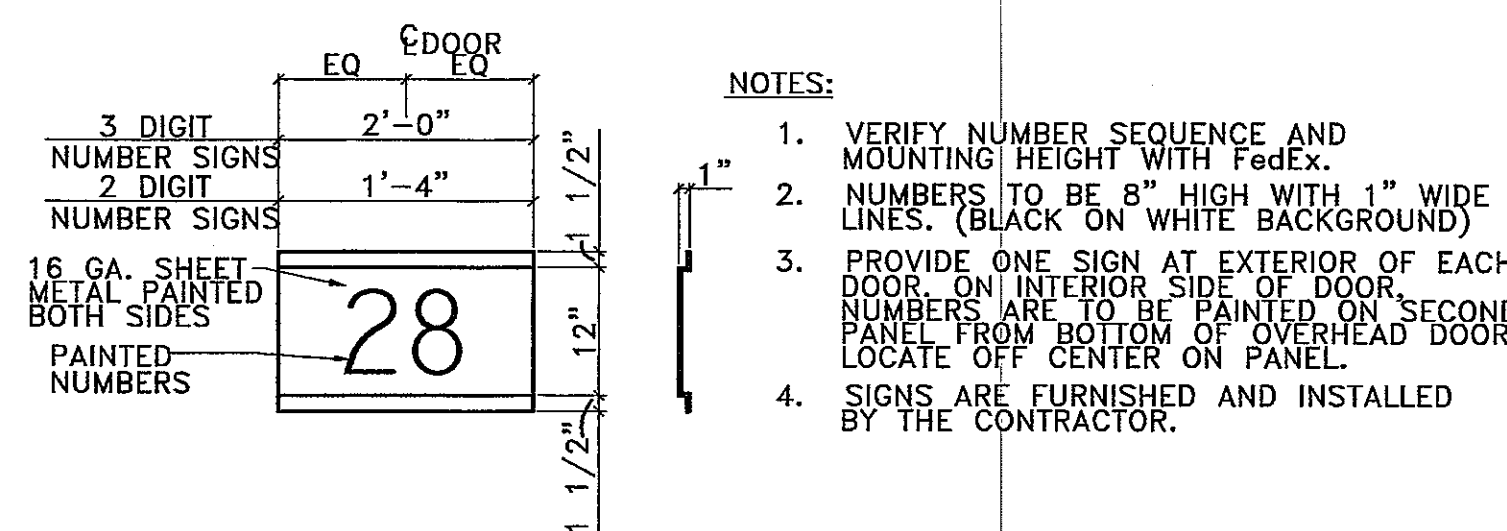


ROOM FINISH SCHEDULE					
NO.	NAME	FLOOR	BASE	WALLS	REMARKS
1	GENERAL OFFICE	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	INCLUDES ENTRY - 1A
2	SENIOR MANAGER	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
3	P & D MANAGER	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
3A	HD SVC. MGRS.	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
4	HD SR. MGR.	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
5	GROUND/HD SVC. MGR. CHECK-IN	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
6	CONTR. CHECK-IN	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
7	DOCK/P&D/OTP SVC. MGRS.	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
9	GENERAL STORAGE	CONCRETE	NONE	5/8" GYPSUM BOARD (NO PAINT) TAPE, SAND, TEXTURE ONLY	
10	SALES	CARPET	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
11	SALES STORAGE	CONCRETE	NONE	5/8" GYPSUM BOARD (NO PAINT) TAPE, SAND, TEXTURE ONLY	
12	MAJOR SALES MGR.	CARPET	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
13	MAJOR ACCOUNT EXEC.	CARPET	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
14	JANITOR	CONCRETE	NONE	5/8" GYPSUM BOARD (PAINTED)	36" HARDBOARD PANELING WAINSCOT OVER GYPSUM BOARD @ MOP SINK PERIMETER
15	WOMEN	CERAMIC TILE	CERAMIC TILE	5/8" WR GYPSUM BOARD (PAINTED) AND CERAMIC TILE	72" CERAMIC TILE WAINSCOT
16	MEN	CERAMIC TILE	CERAMIC TILE	5/8" WR GYPSUM BOARD (PAINTED) AND CERAMIC TILE	
17	FUTURE				
18	FUTURE				
19	APPLICATIONS	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
20	RECRUITER	VCT	4" VINYL	5/8" GYPSUM BOARD (PAINTED)	
20A	FUTURE	VCT			
22	TELECOMM	CONCRETE	NONE	5/8" GYPSUM BOARD (NO PAINT) TAPE, SAND, TEXTURE ONLY	
23	FUTURE				
24	FUTURE				
25	SECURITY CLOSET	CONCRETE	NONE	5/8" GYPSUM BOARD (NO PAINT) TAPE, SAND, TEXTURE ONLY	
26	FUTURE				
D1	DISTRIBUTION CENTER	CONCRETE WITH SEALER	4" VINYL @ OFFICE WALL ONLY	EXPOSED STEEL (OFFICE WALL PAINTED IF GYPSUM)	OFFICE WALL NOT PAINTED AND 4" VINYL NOT REQUIRED FOR MASONRY CONSTRUCTION
G1	GUARDHOUSE	VCT	4" VINYL	5/8" GYPSUM BOARD WITH PLYWOOD PANELING	
M1	VEHICLE MAINT. GARG.	CONC. WITH SEALER	4" VINYL @ OFFICE WALL ONLY	EXPOSED STEEL	4" VINYL NOT REQUIRED FOR MASONRY CONSTRUCTION
M2	VEHICLE MAINT. OFFICE	VCT	4" VINYL	5/8" GYPSUM BOARD ( PAINTED )	
M3	STORAGE	CONC.	NONE	5/8" GYPSUM BOARD ( NO PAINT ) TAPE, SAND, TEXTURE ONLY	
M4	MEN	CERAMIC TILE	CERAMIC TILE	5/8" WR GYPSUM BOARD (PAINTED) & CERAMIC TILE	72" CERAMIC TILE WAINSCOT
M5	WOMEN	CERAMIC TILE	CERAMIC TILE	5/8" WR GYPSUM BOARD (PAINTED) & CERAMIC TILE	72" CERAMIC TILE WAINSCOT

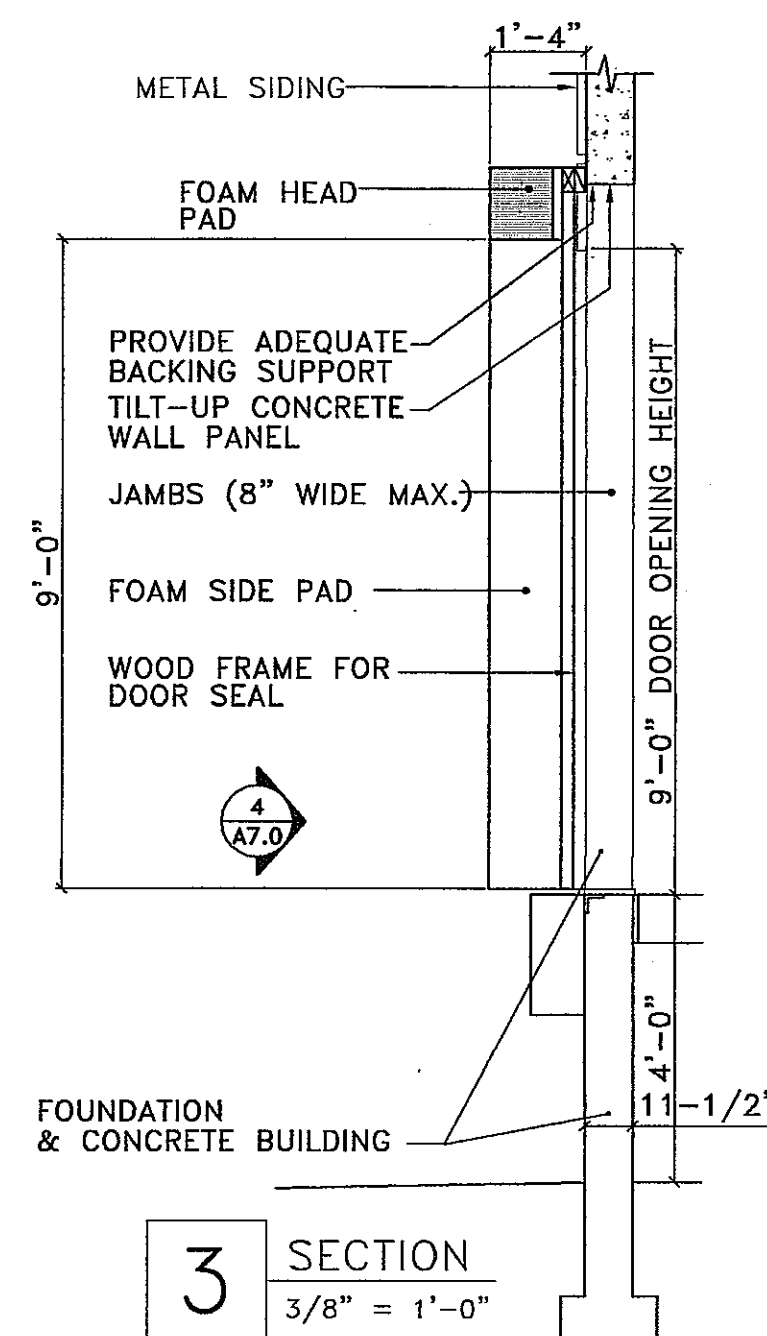
**ROOM FINISH NOTES:**

- ALL ROOMS TO HAVE ACOUSTICAL CEILING TILE AT 7'-11" HIGH, EXCEPT STORAGE ROOM AND LOADING DOCK TO HAVE EXPOSED INSULATION AT FULL HEIGHT.
- ALL REST ROOMS TO HAVE DRYWALL CEILINGS.
- WALLS FOR SUPPLY ROOMS, TOILET ROOMS, TERMINAL MANAGER'S OFFICE AND TRAINING ROOM SHALL BE INSTALLED FULL HEIGHT FROM FLOOR TO ROOF.

DOOR SCHEDULE					
NO.	SIZE	DOOR		FRAME HDW. SET	REMARKS
		TYPE	MATERIAL		
1	3'-0"x7'-0"x1 3/4"	A	HM	HM	1
2	3'-0"x7'-0"x1 3/4"	C	HM	HM	7
2A	3'-0"x7'-0"x1 3/4"	C	HM	HM	13
3	3'-0"x7'-0"x1 3/4"	A	HM	HM	6
4	3'-0"x7'-0"x1 3/4"	B	HM	HM	4
5	3'-0"x7'-0"x1 3/4"	B	HM	HM	5
6	3'-0"x7'-0"x1 3/4"	B	HM	HM	3
7	3'-0"x7'-0"x1 3/4"	B	HM	HM	12
7A	3'-0"x7'-0"x1 3/4"	B	HM	HM	2
8	18'-2" X 14'-1"	D	OH STEEL	METAL	- CHAIN OPERATED
8A	8'-2" X 9'-1"	D	OH STEEL	METAL	- WITH WINDOW LITE - SEE 3 / A7.0
8B	14'-2" X 16'-1"	D	OH STEEL	METAL	- MOTOR OPERATED
8C	18'-2" X 16'-1"	D	OH STEEL	METAL	- CHAIN OPERATED
9	3'-0"x7'-0"x1 3/4"	C	HM	HM	8
10	3'-0"x7'-0"x1 3/4"	C	HM	HM	9

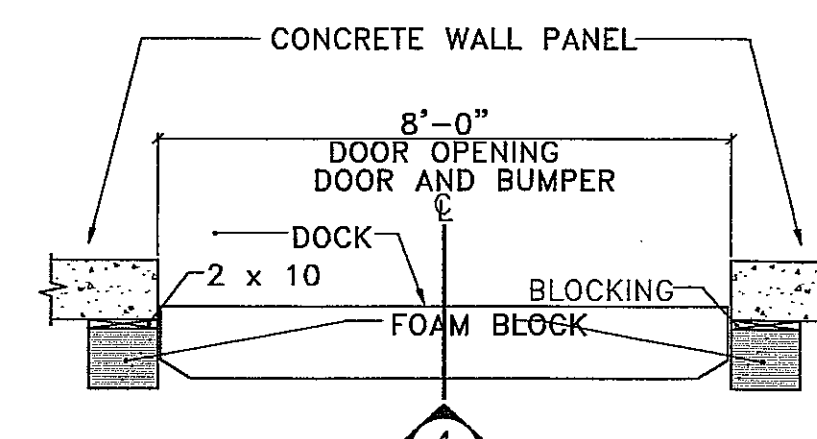


**1 DOOR NUMBER SIGN**  
NO SCALE

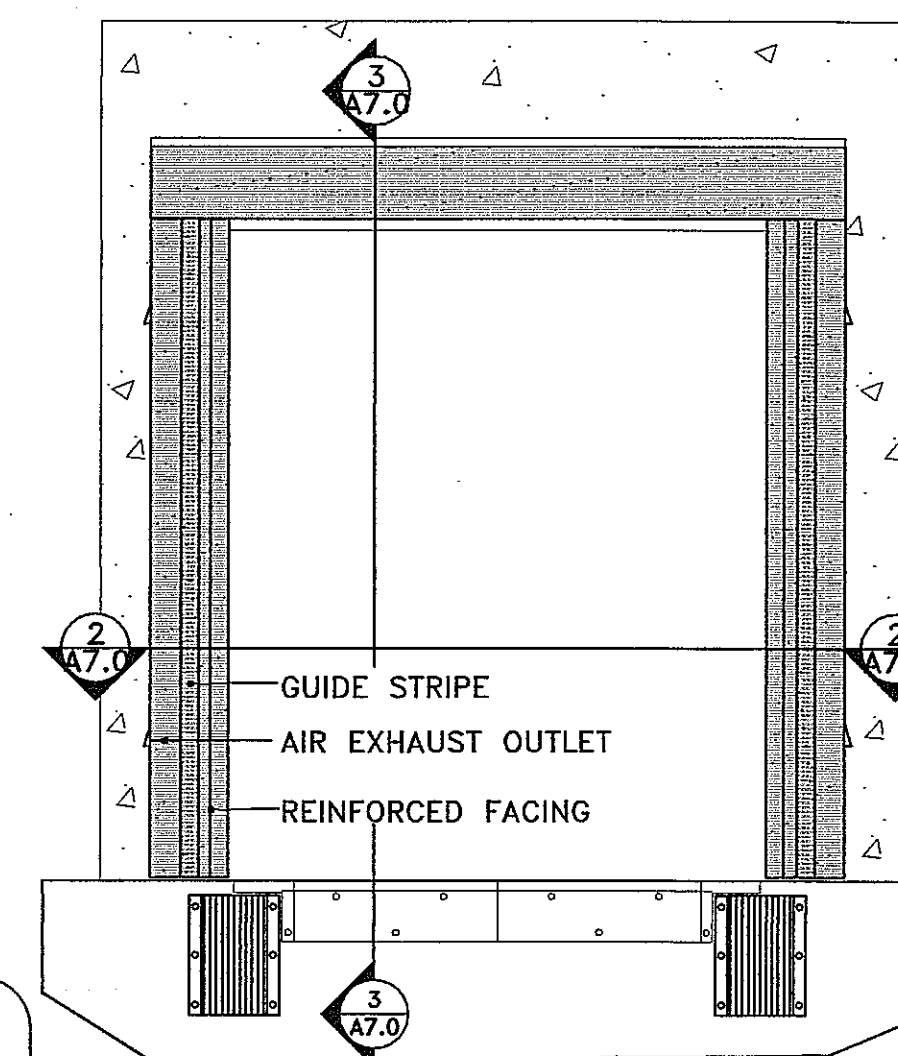


**3 SECTION**  
3/8" = 1'-0"

- NOTES:**
- VERIFY NUMBER SEQUENCE AND MOUNTING HEIGHT WITH FedEx.
  - NUMBERS TO BE 8" HIGH WITH 1" WIDE LINES. (BLACK ON WHITE BACKGROUND)
  - PROVIDE ONE SIGN AT EXTERIOR OF EACH DOOR ON INTERIOR SIDE OF DOOR. NUMBERS ARE TO BE PAINTED ON SECOND PANEL FROM BOTTOM OF OVERHEAD DOOR. LOCATE OFF CENTER ON PANEL.
  - SIGNS ARE FURNISHED AND INSTALLED BY THE CONTRACTOR.



**2 PLAN VIEW**  
FOAM DOOR SEAL  
3/8" = 1'-0"



**4 ELEVATION**  
3/8" = 1'-0"

**NOTE:**  
COORDINATE DOCK SEAL REQUIREMENTS WITH FedEx. DOCK SEALS TO BE FURNISHED & INSTALLED BY CONTRACTOR PER MANUFACTURERS RECOMMENDATIONS

WINDOW TYPES		WINDOW SCHEDULE	
TYPE	SIZE	TYPE	MATERIAL
(A)	4'-0" X 4'-0"	(A)	ALUMINUM
(B)	4'-0" X 3'-0"	(B)	ALUMINUM HORIZ. SLIDING

DOOR TYPES	
TYPE	REMARKS
A	HANDICAP SIGN AT TOILET ROOMS
B	1/2" INSULATED TEMPERED CLEAR GLASS AT EXTERIOR DOORS
C	1/4" CLEAR GLASS AT INTERIOR DOORS
D	USE AT SPECIFIED DOORS ONLY

PROJECT NAME:



SHEET TITLE:

DOOR / WINDOW & ROOM FINISH SCHEDULES

NO. DATE REVISIONS BY

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

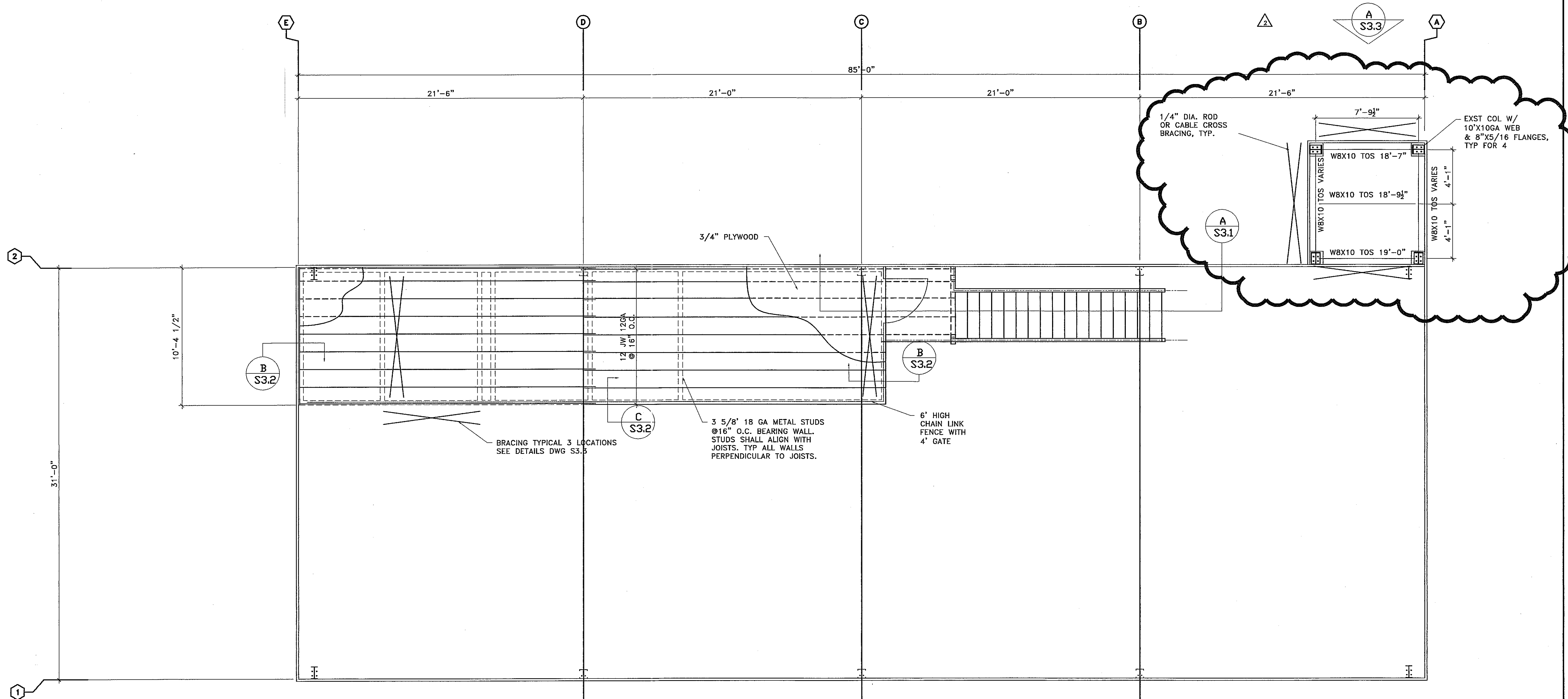
SHEET NUMBER

**AS BUILT**

A7.0







**VEHICLE MAINTENENCE GARAGE MEZZANINE PLAN**  
SCALE: 1/4"=1'-0"

PROJECT NAME:

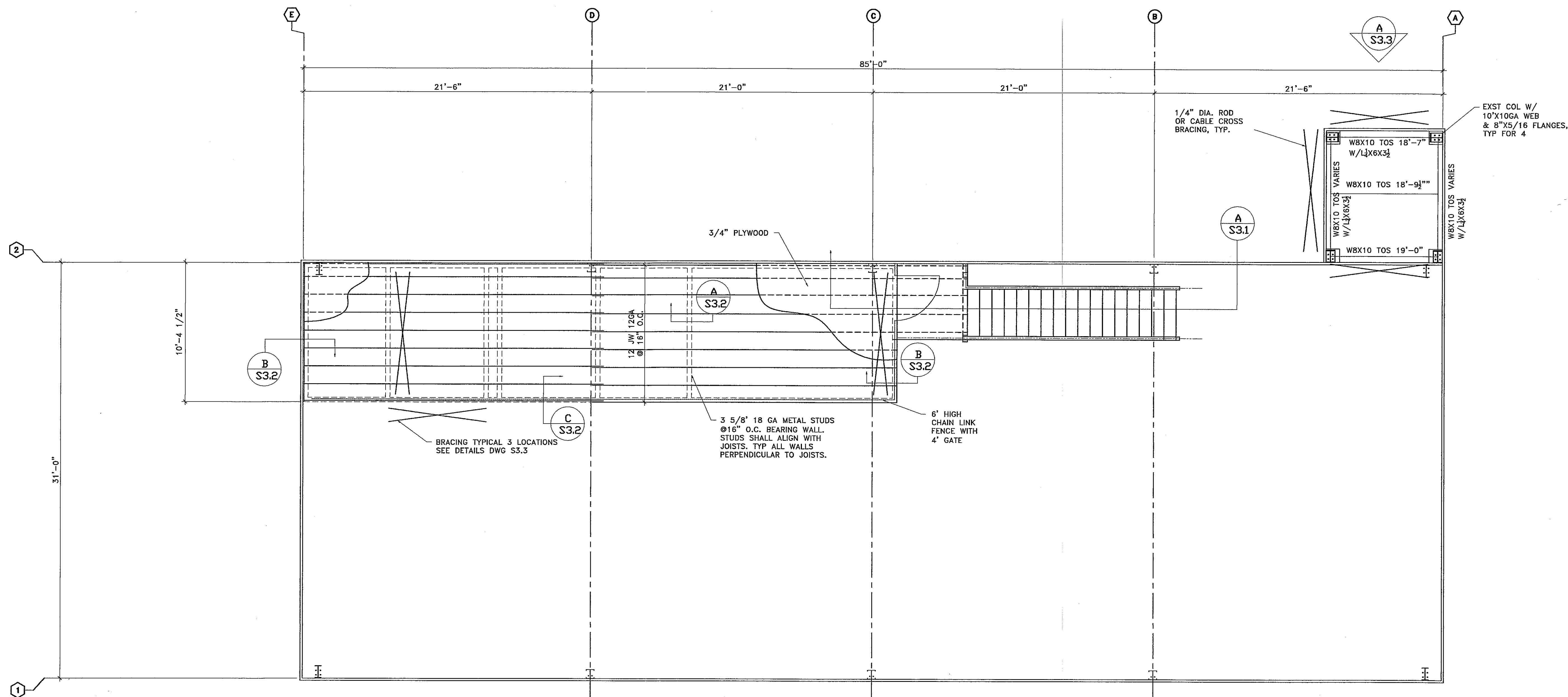


SHEET TITLE:

VEHICLE MAINTENENCE GARAGE  
STURCTURAL PLAN

NO.	DATE	REVISIONS	BY
2	5-19-04	MODIFIED LEAN TO	DAN
1	4-29-04	REVISED PLAN	DAN

PROJECT NUMBER:  
DATE: 9-24-03  
DRAWN BY: DAN  
CHECKED BY: D. NELSEN  
PROJECT MANAGER: D. NELSEN  
FILE NAME: C:\DAVETEMP\



**VEHICLE MAINTENANCE GARAGE MEZZANINE PLAN**  
 SCALE: 1/4"=1'-0"

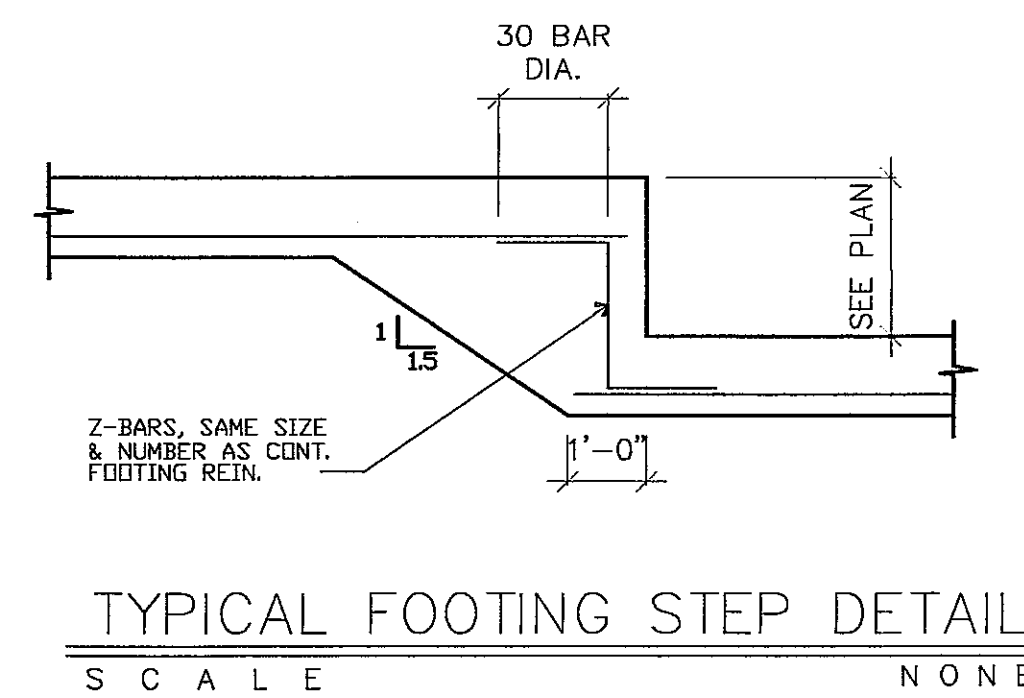
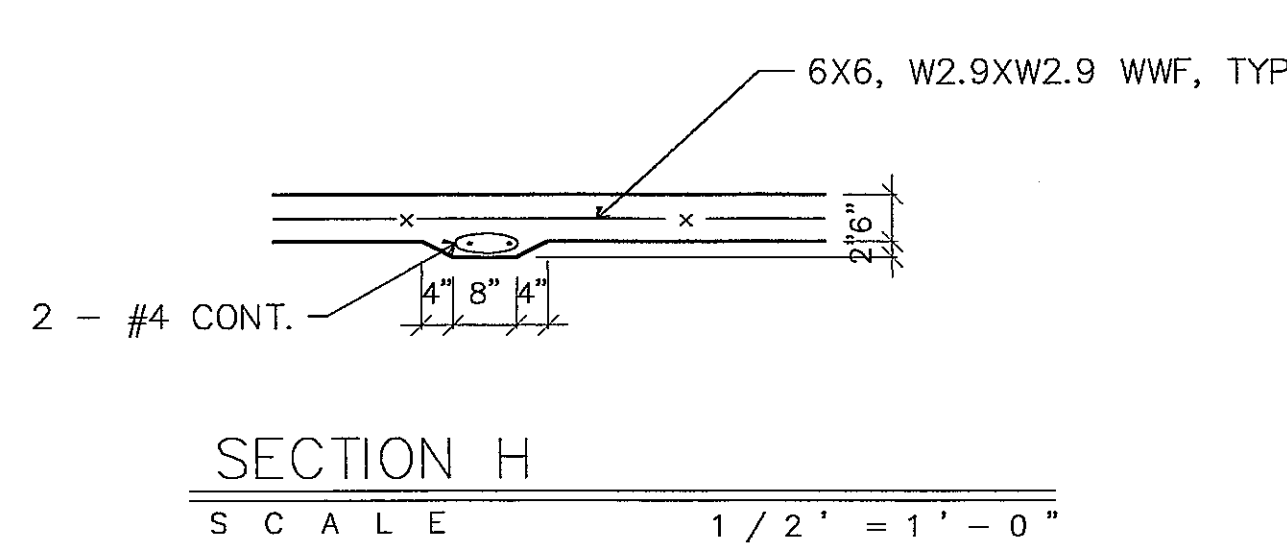
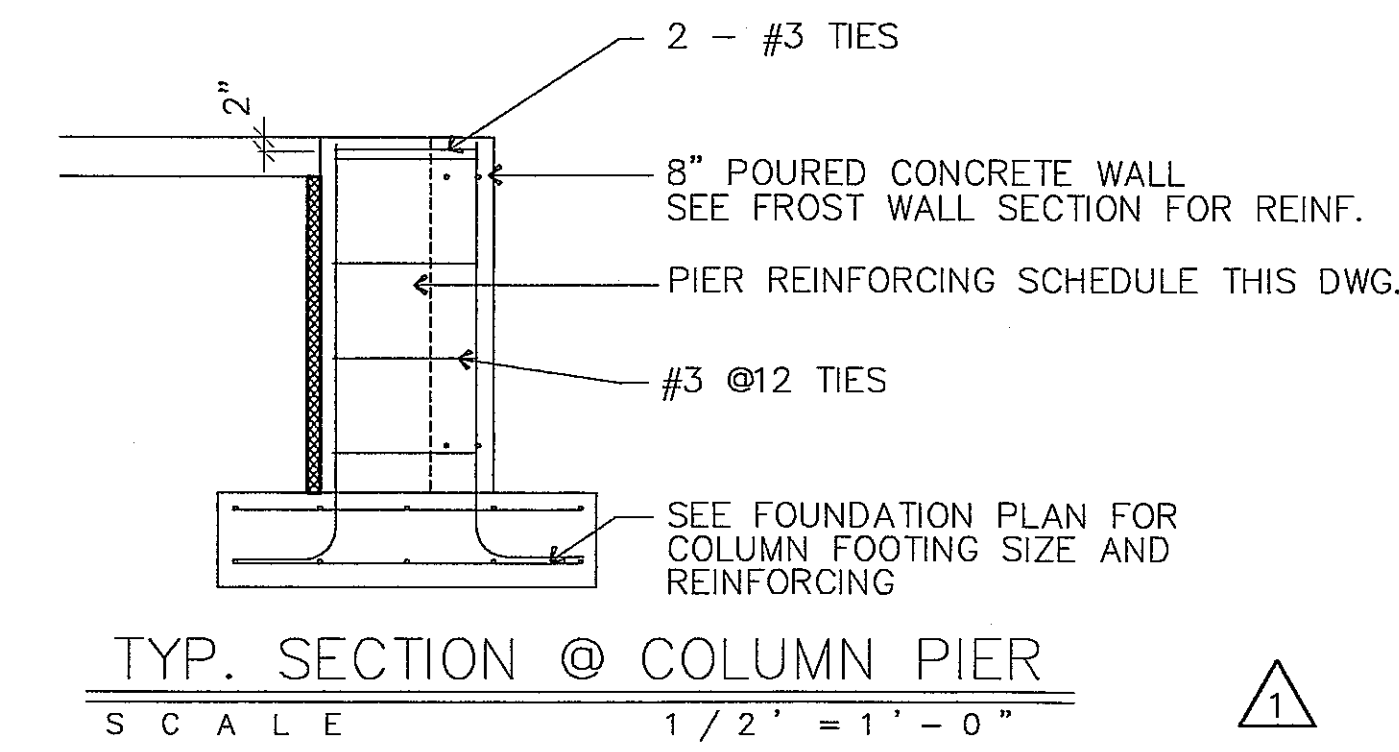
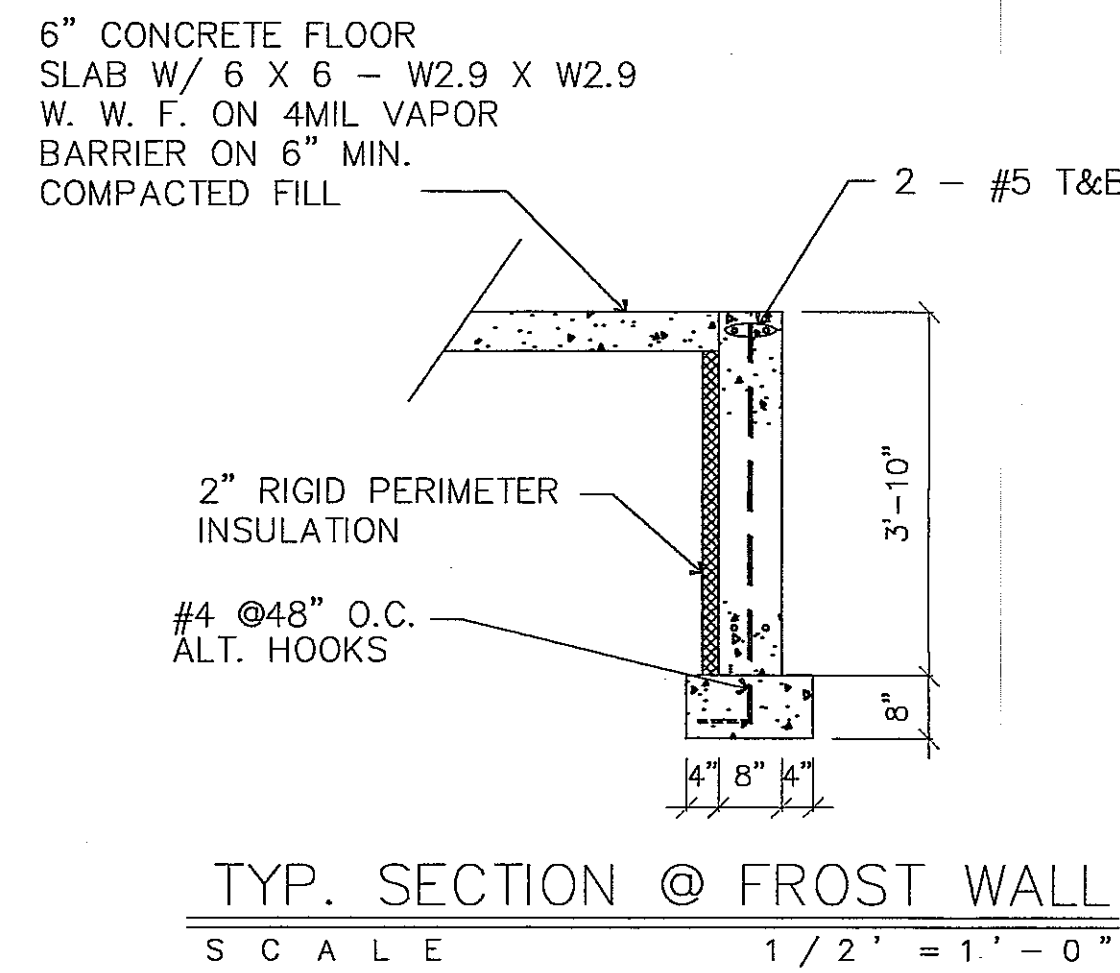
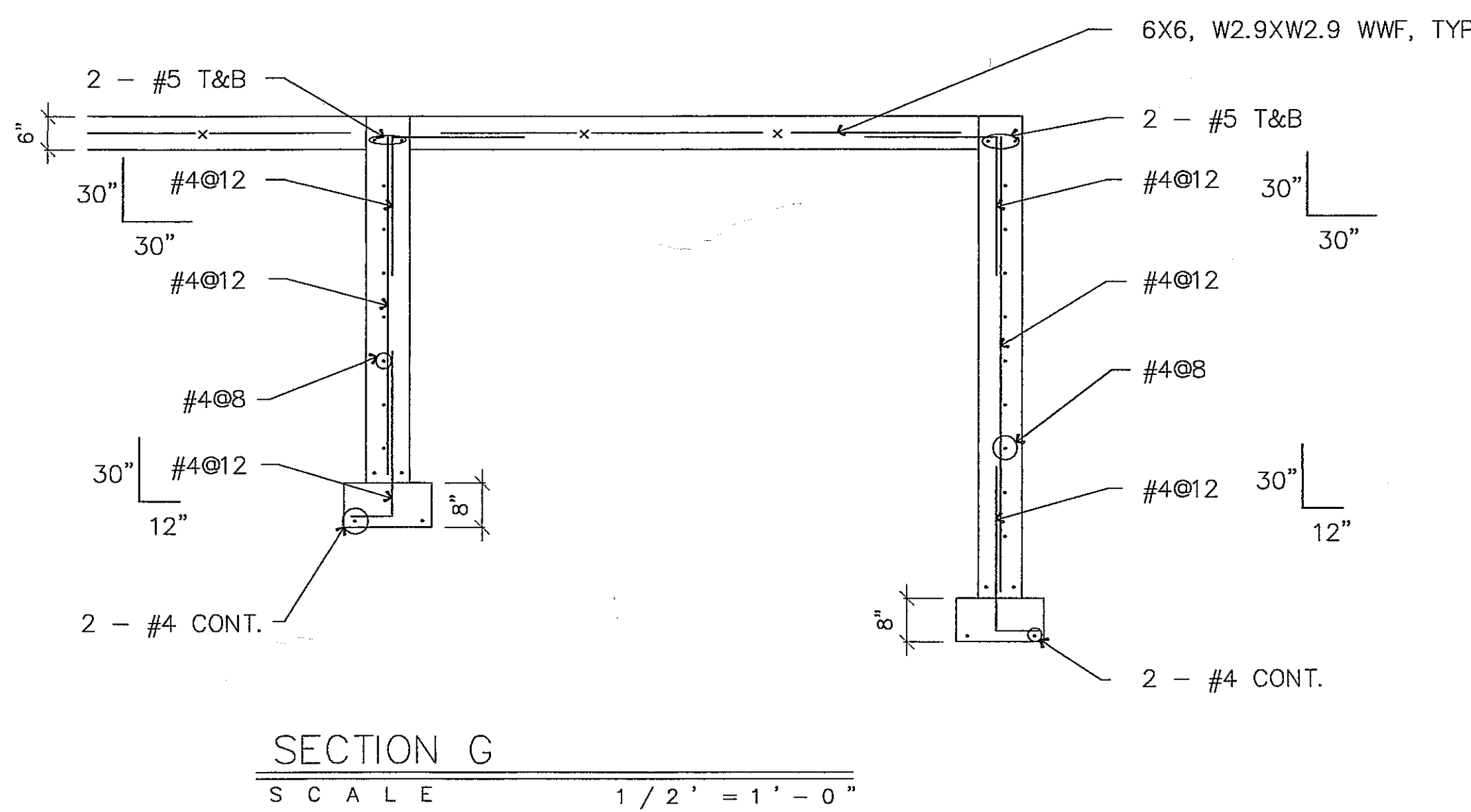
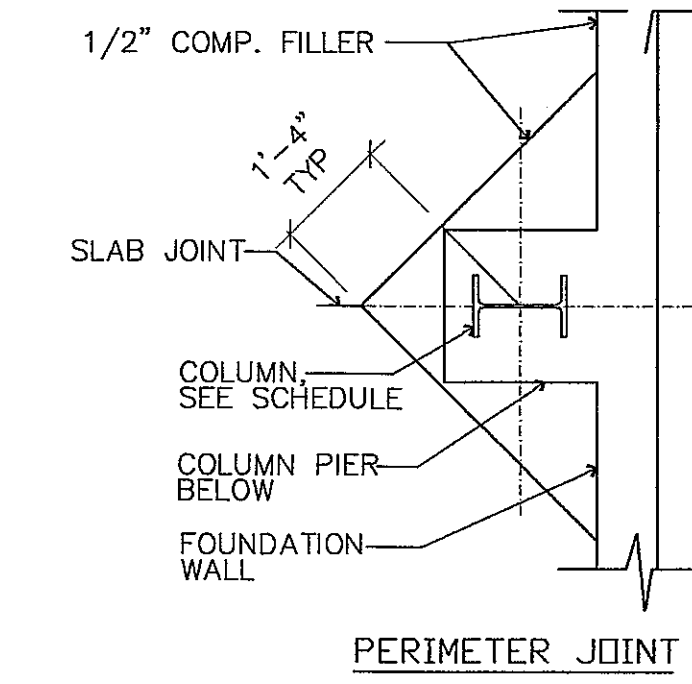
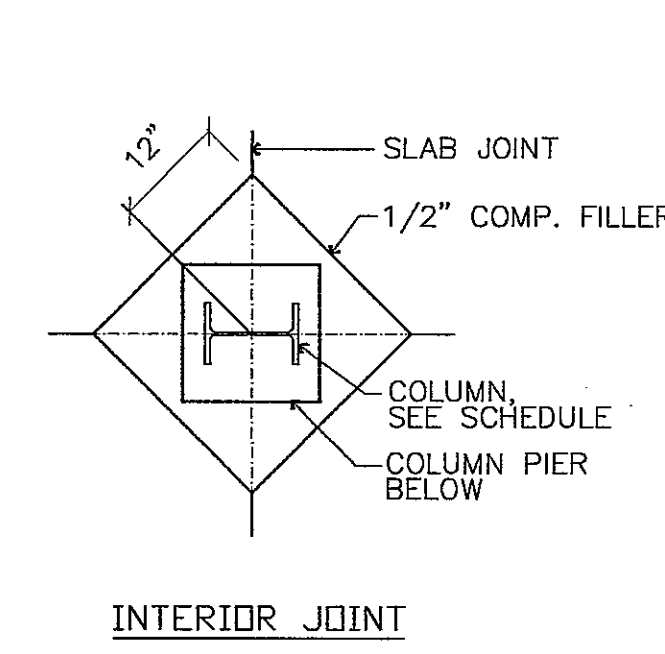
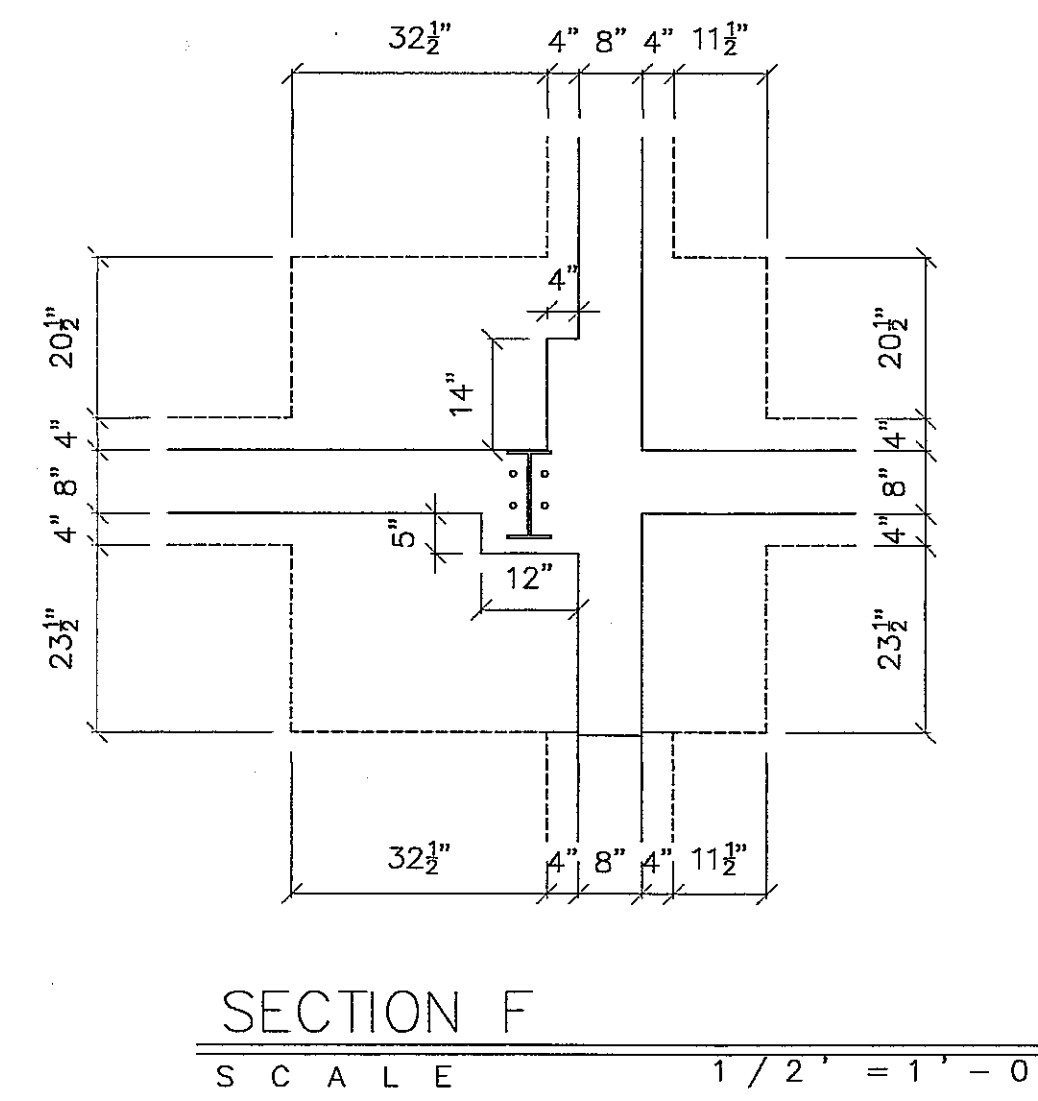
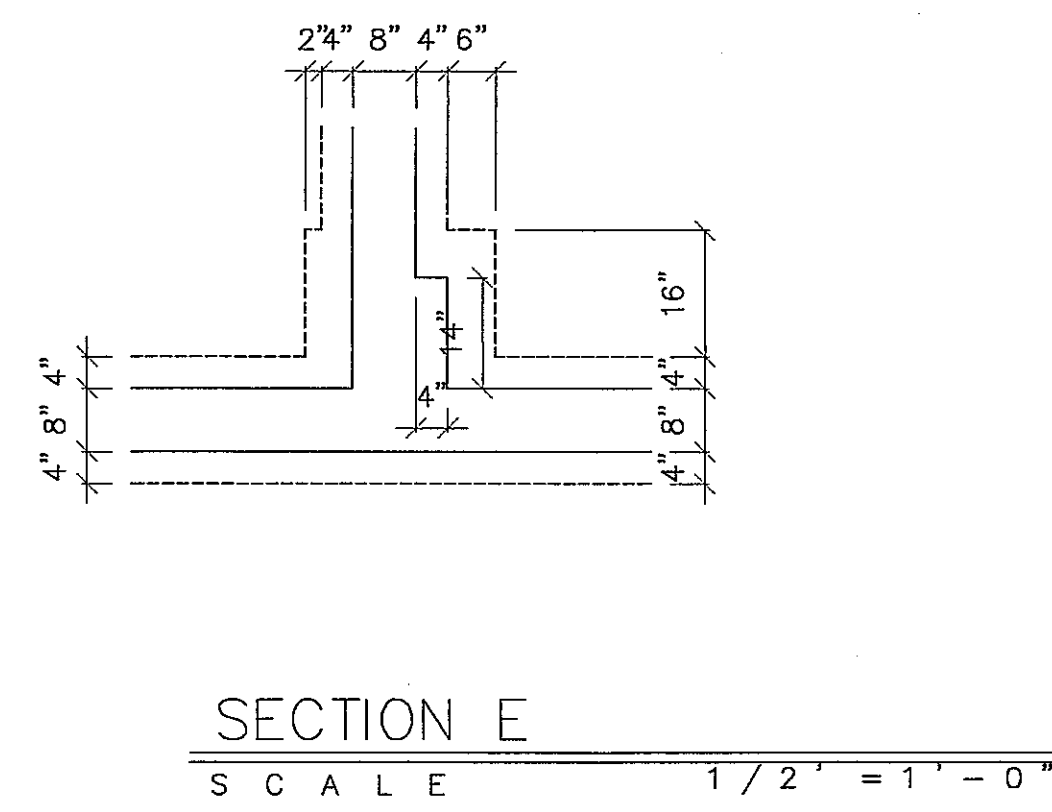
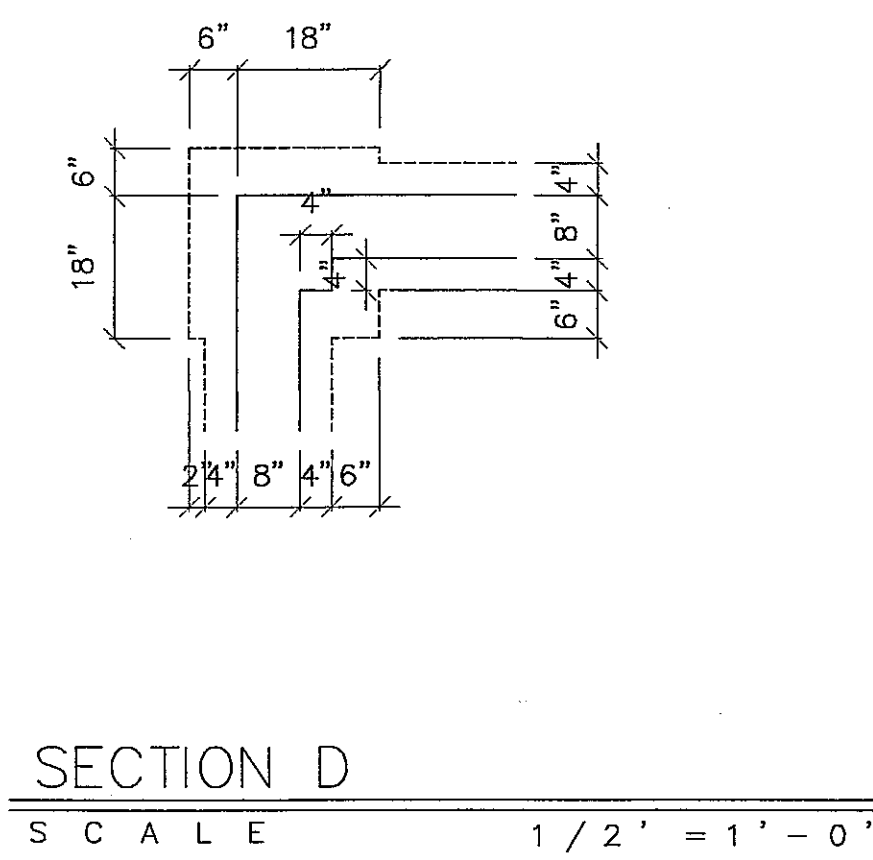
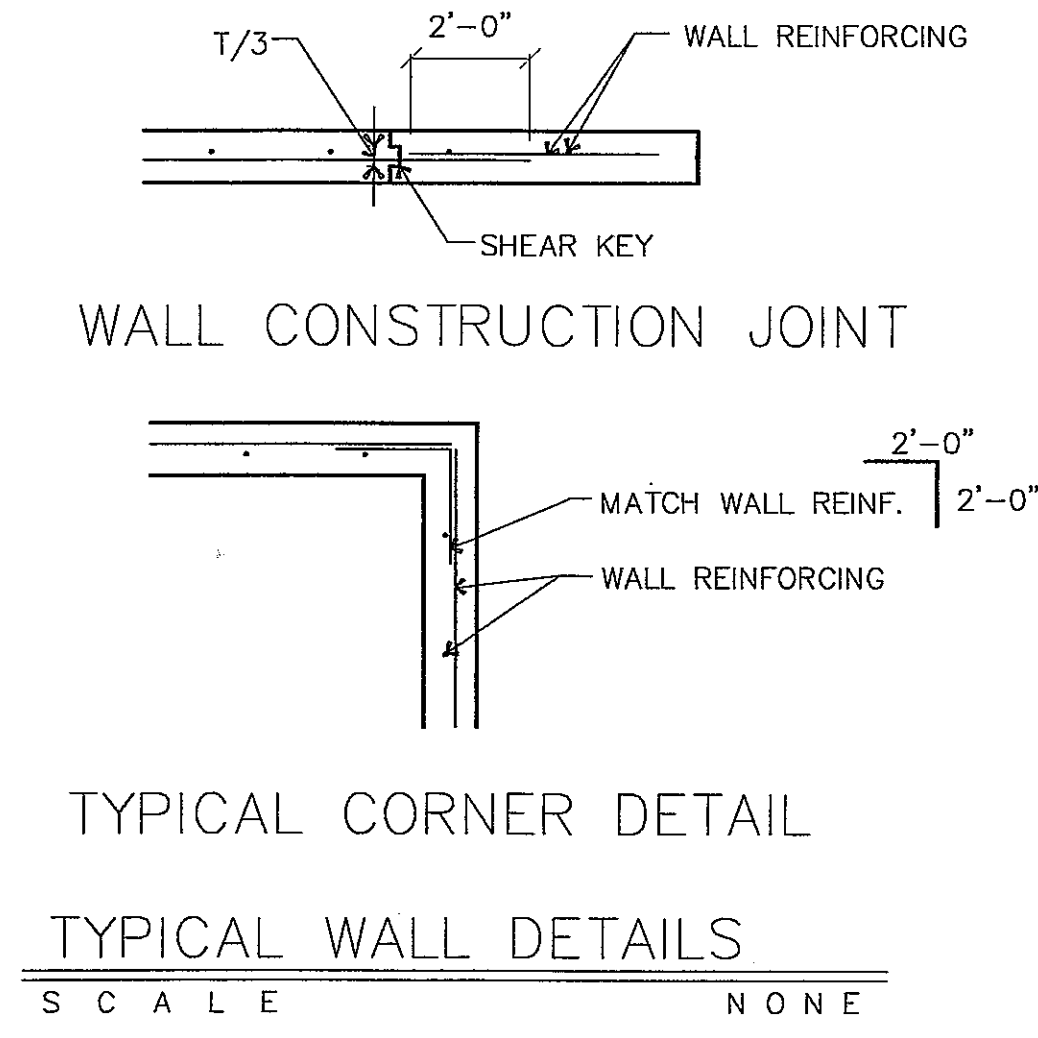
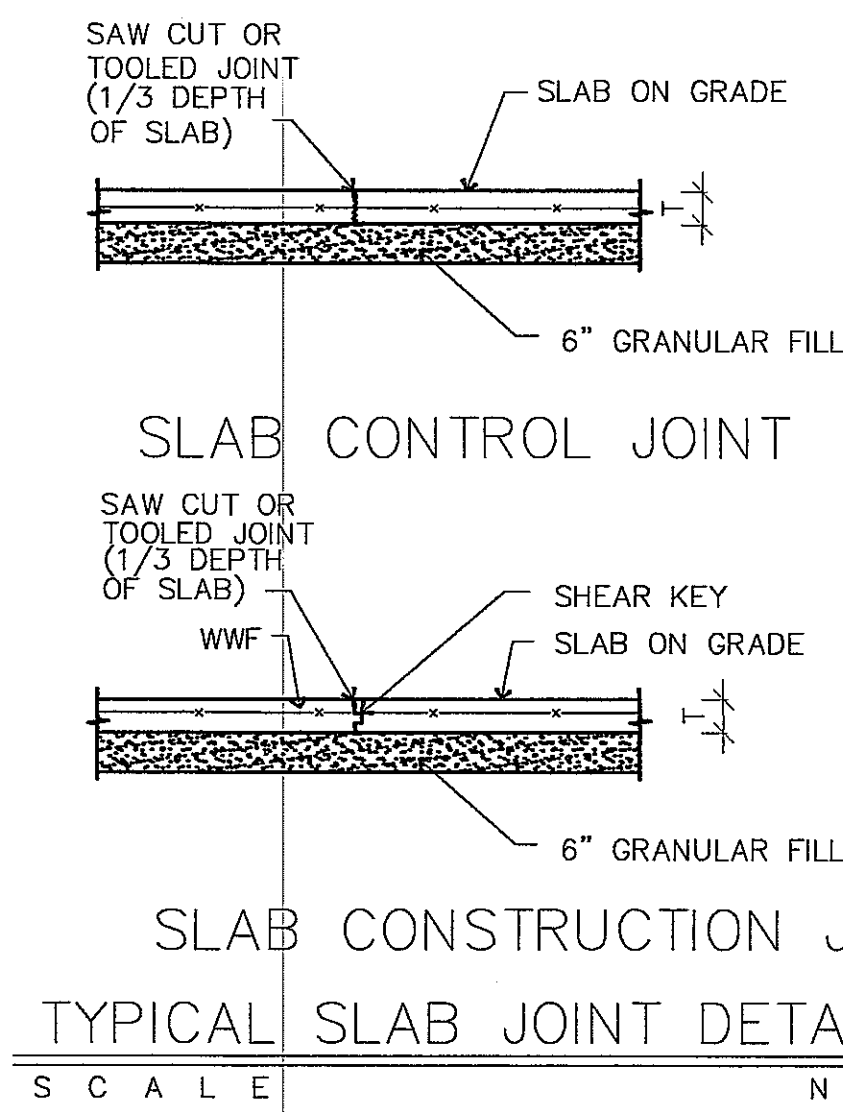
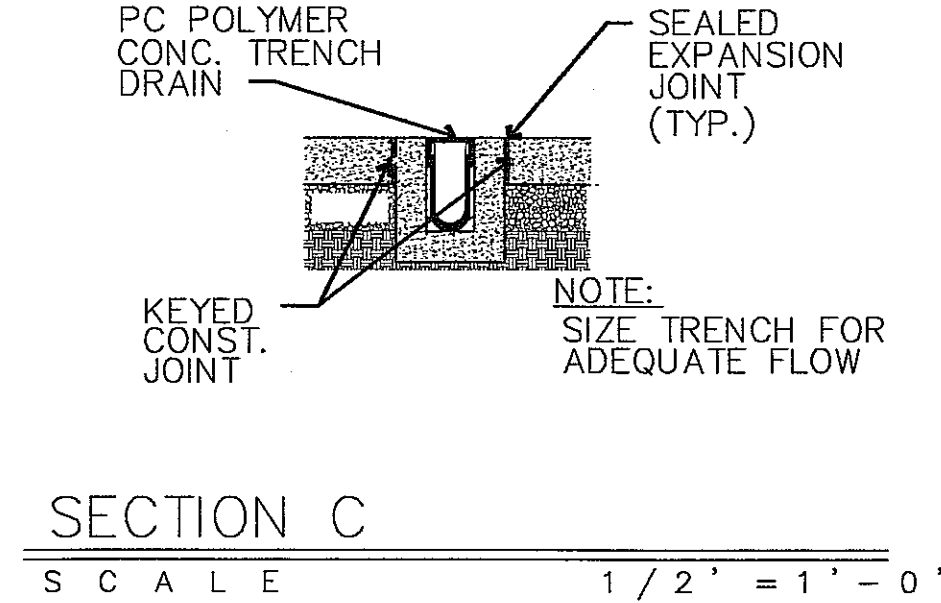
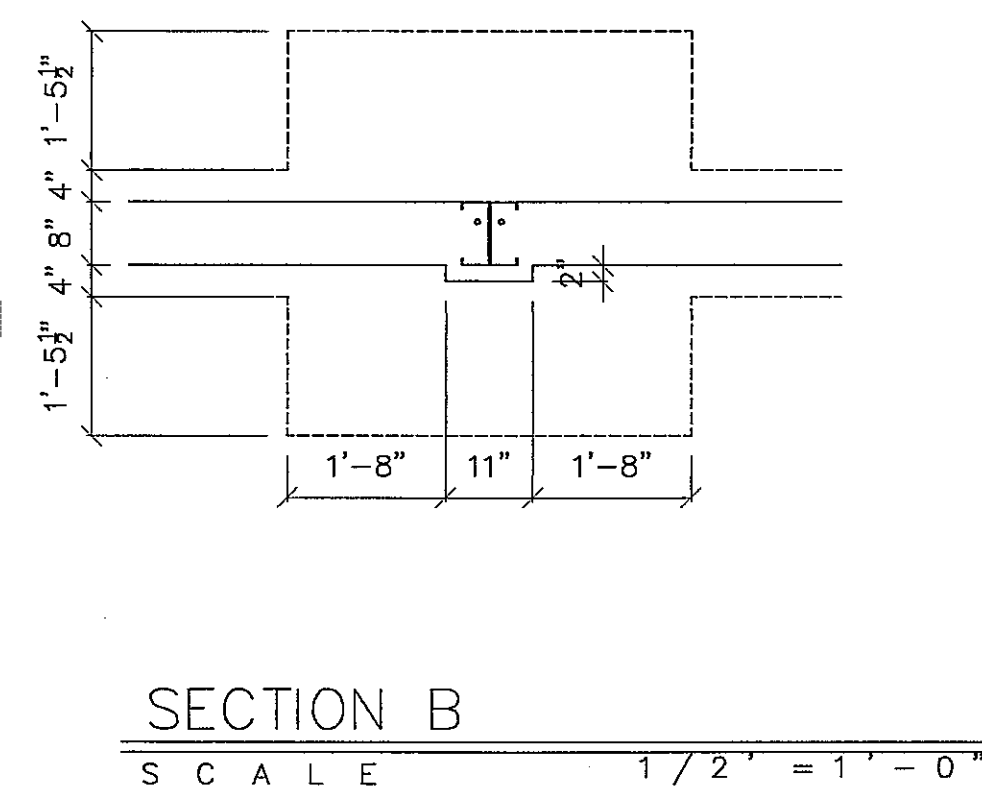
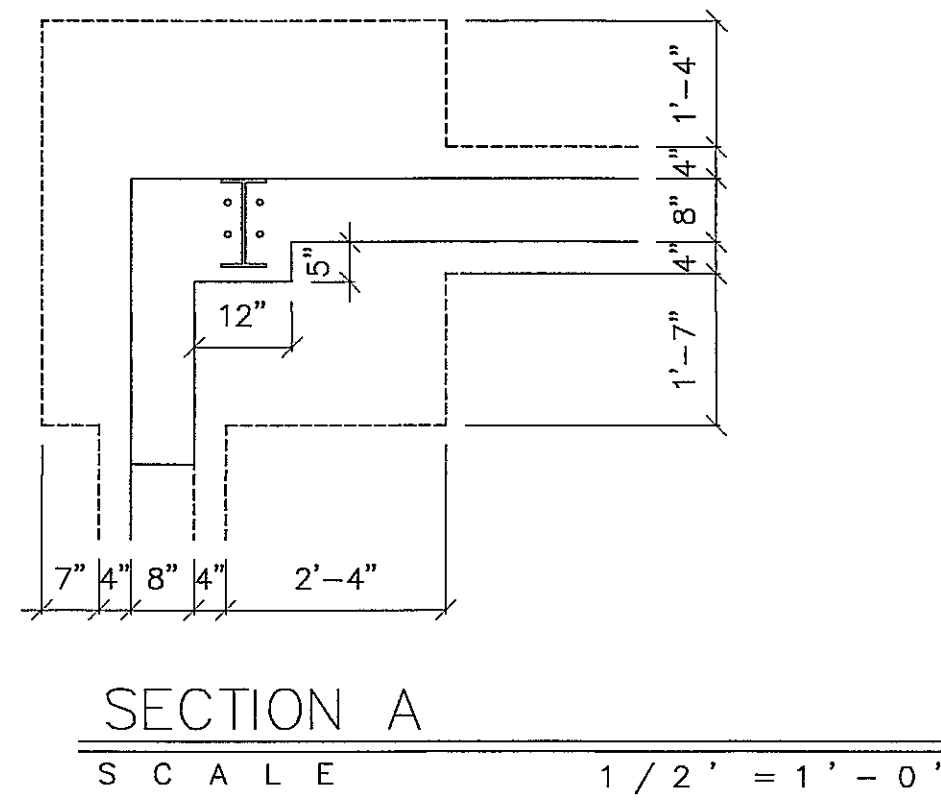
PROJECT NAME:  
**FedEx Ground** 3901 HANSON ROAD  
 MADISON, WISCONSIN

SHEET TITLE:  
 VEHICLE MAINTENANCE GARAGE  
 STRUCTURAL FRAMING PLAN

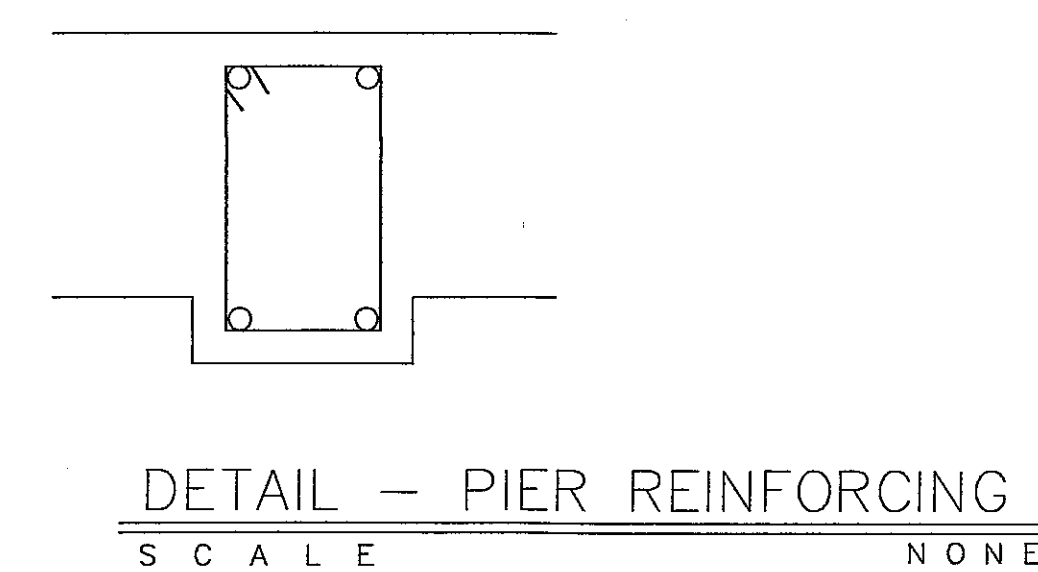
NO.	DATE	REVISIONS	BY
1	4-29-04	REVISED PLAN	DAN

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\





PIER TYPE	DIMENSIONS	VERT. REIN.	TIES	EL TOP OF PIER
P1	20" X 13"	4 - #6	#3@12	31'-0"
P2	11" X 10"	4 - #6	#3@12	31'-0"
P3	12" X 12"	4 - #6	#3@12	31'-0"
P4	22" X 12"	4 - #6	#3@12	31'-0"



PROJECT NAME:



SHEET TITLE:  
 VEHICLE MAINTENANCE GARAGE  
 FOUNDATION SECTIONS & DETAILS

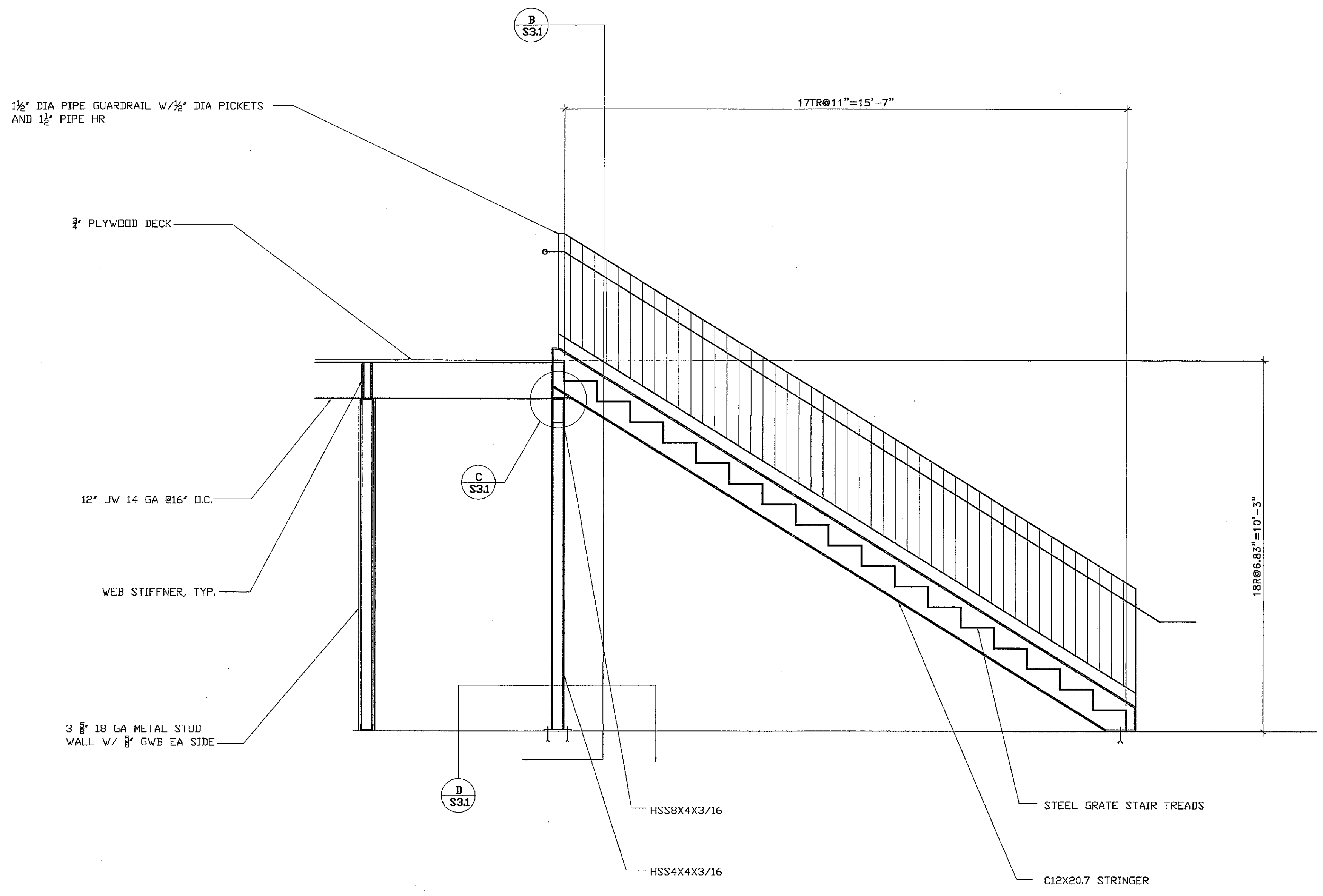
NO.	DATE	REVISIONS	BY
3	4-29-04	REV. TITLE BLOCK	DAN
2	10-13-03	ADD SECT'S & DETAILS	DAN
1	10-09-03	MODIFIED SECT.	DAN

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

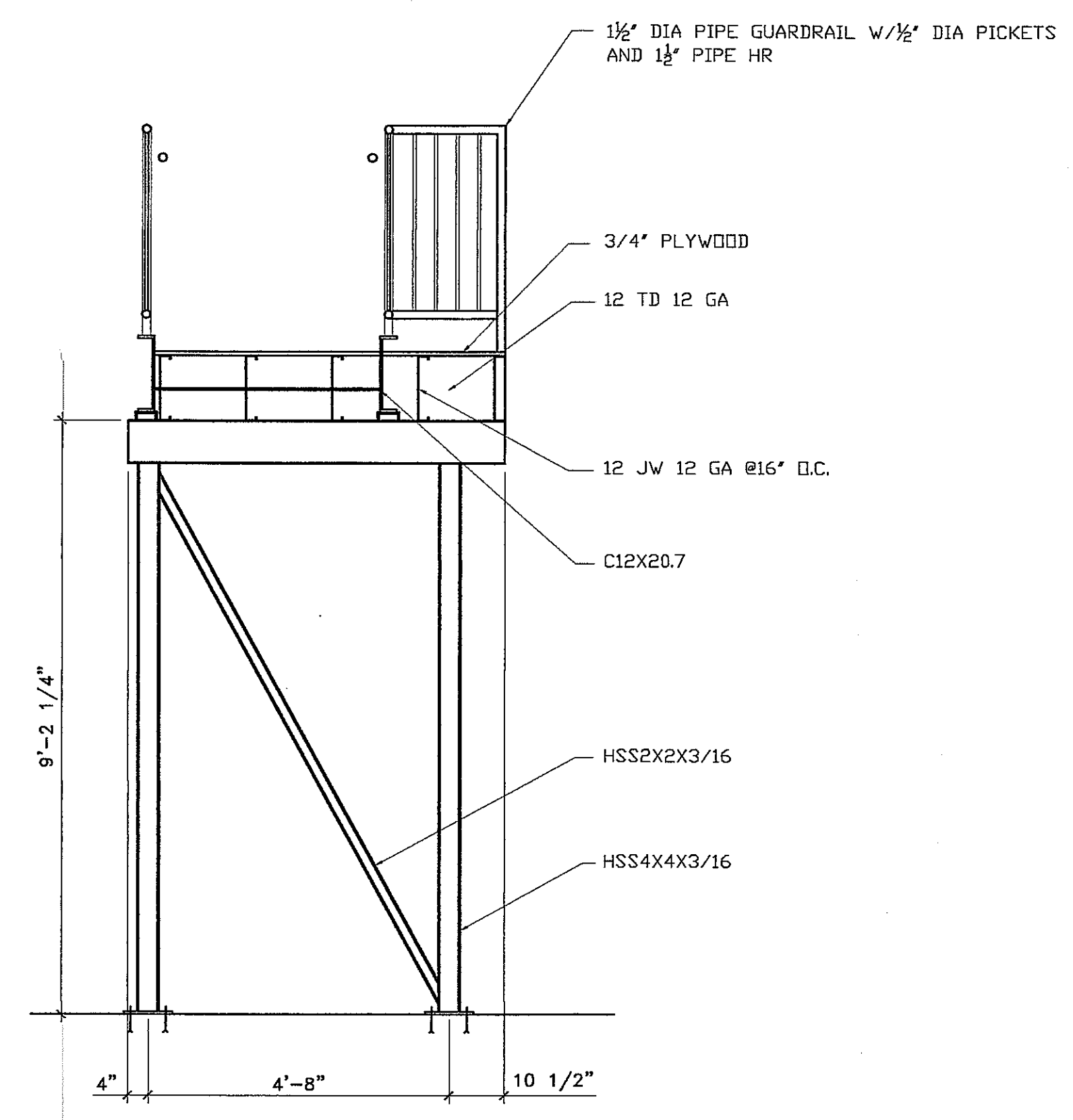
SHEET NUMBER

**AS BUILT**

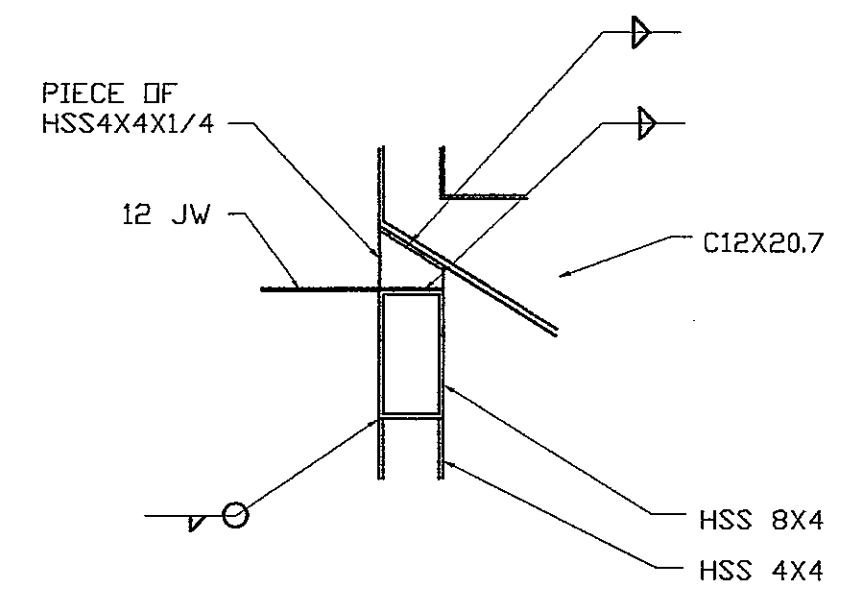
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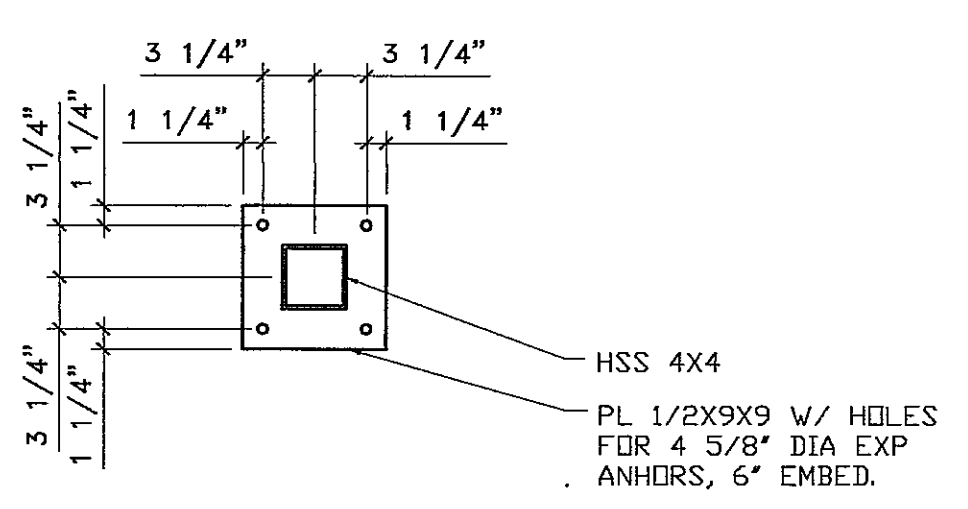
**A SECTION**  
**S3.1** SCALE: 1/2"=1'-0"



**B SECTION**  
**S3.1** SCALE: 1/2"=1'-0"



**C SECTION**  
**S3.1** SCALE: 1"=1'-0"



**D SECTION**  
**S3.1** SCALE: 1"=1'-0"

PROJECT NAME:  
**FedEx Ground** 3901 HANSON ROAD  
 MADISON, WISCONSIN

SHEET TITLE:  
 VEHICLE MAINTENANCE GARAGE  
 STAIR SECTIONS

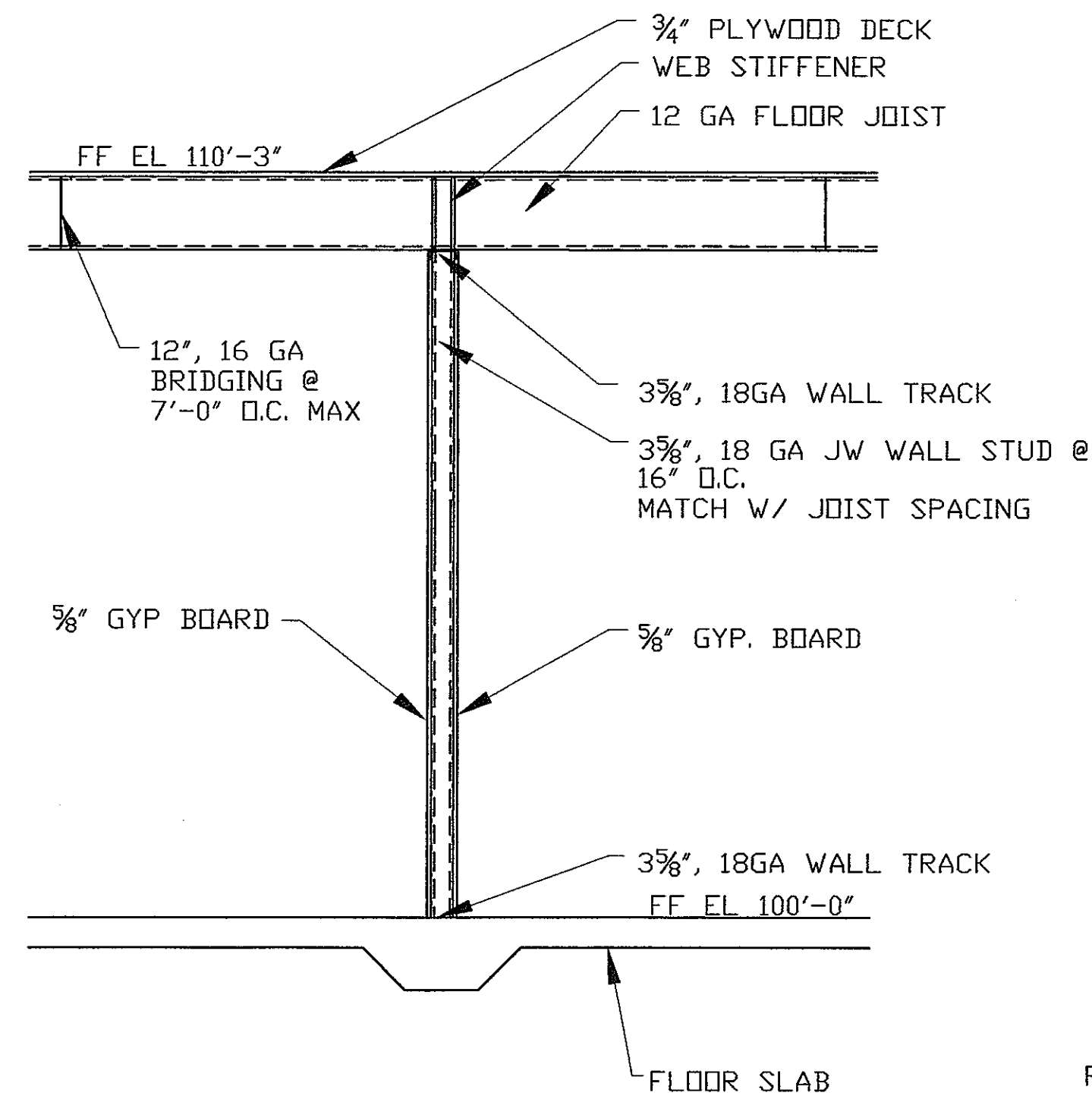
NO.	DATE	REVISIONS	BY
4-29-04		REVISED PLAN	DAN

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

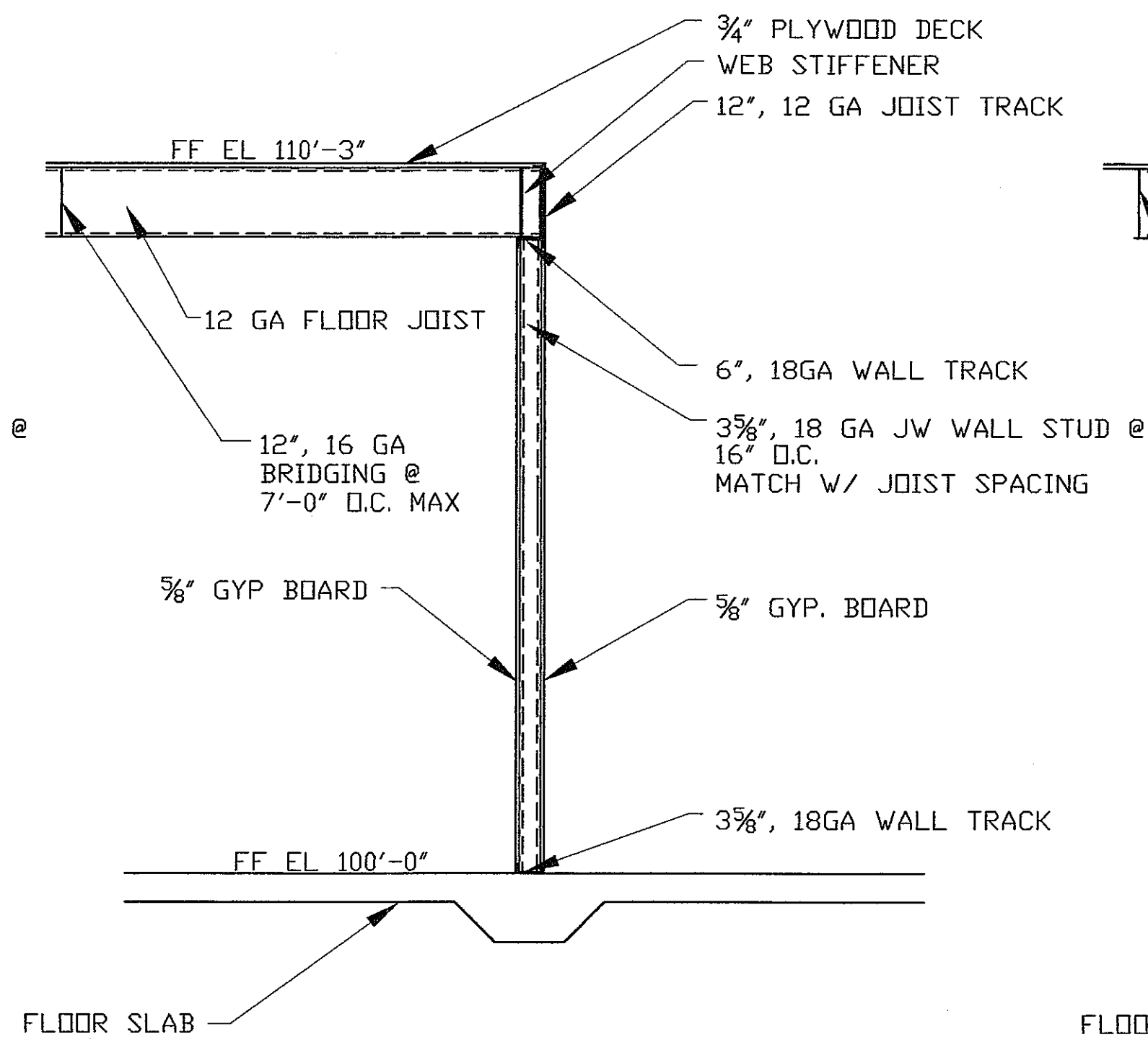
**AS BUILT**

SHEET NUMBER  
**S3.1**

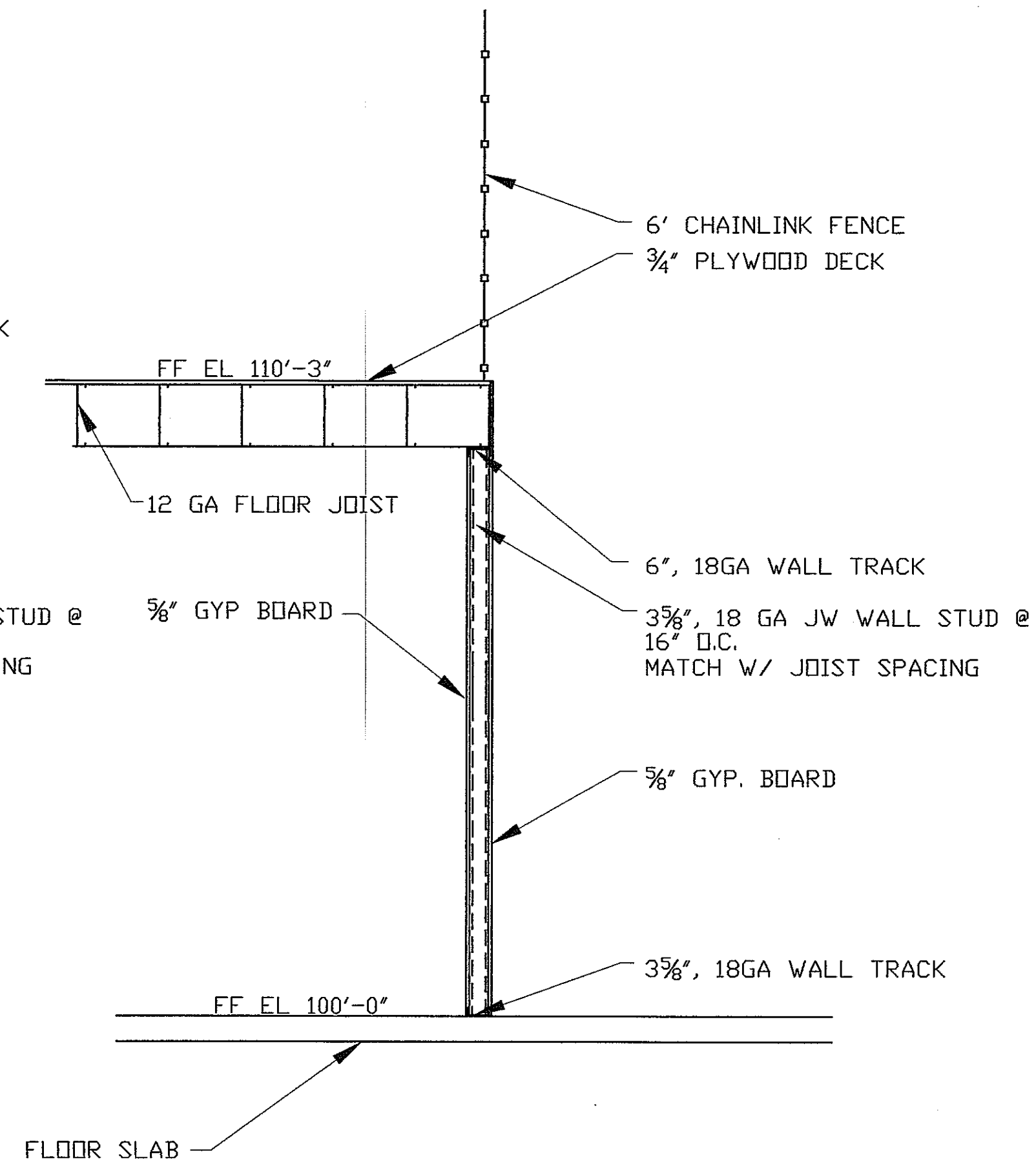




**A** SECTION  
 S3.2 SCALE: 1/2"=1'-0"



**B** SECTION  
 S3.2 SCALE: 1/2"=1'-0"



**C** SECTION  
 S3.2 SCALE: 1/2"=1'-0"



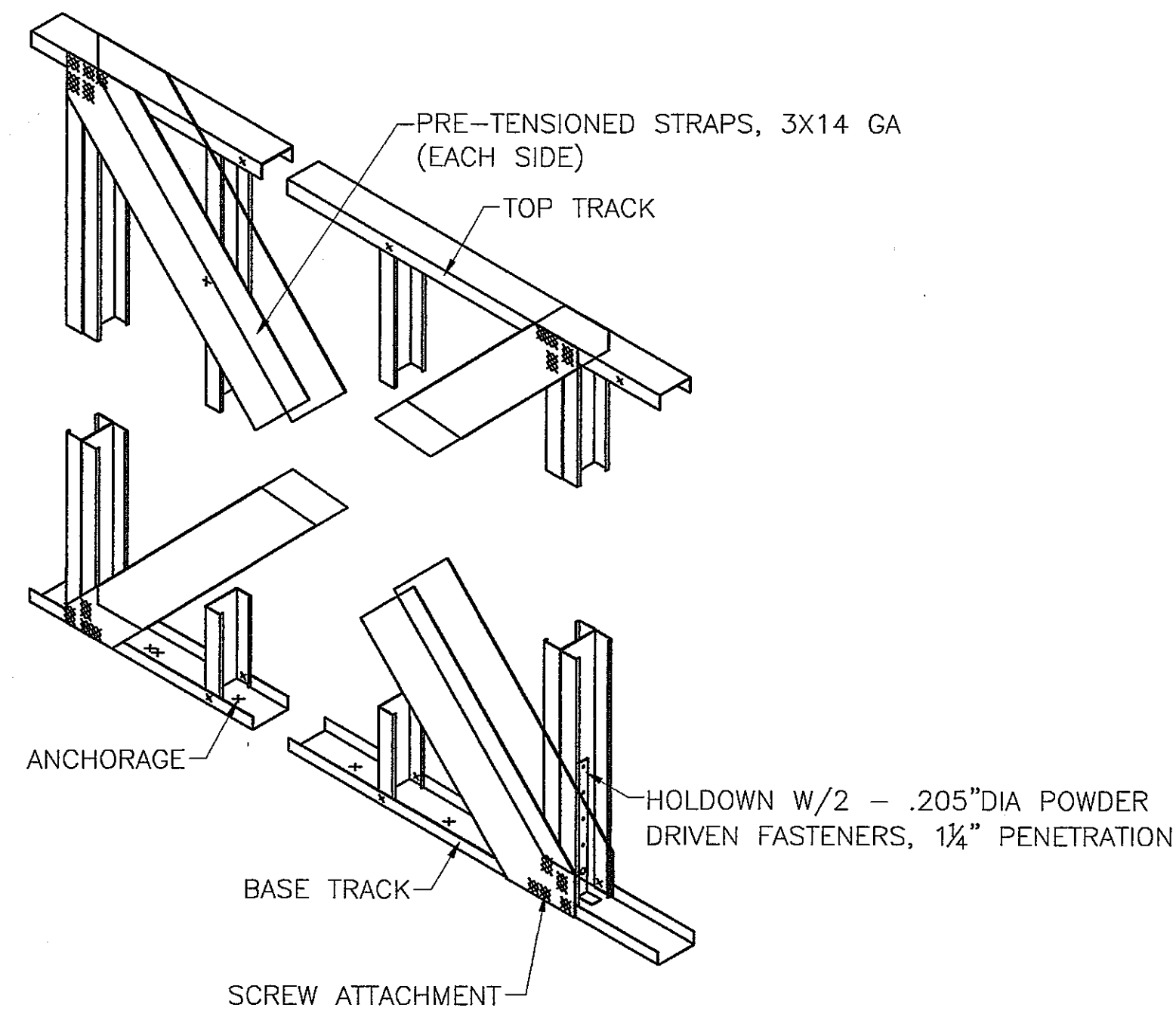
SHEET TITLE:  
 VEHICLE MAINTENANCE GARAGE  
 SECTIONS & DETAILS - SHT 1

NO.	DATE	REVISIONS	BY
1	4-29-04	REVISED PLAN	DAN

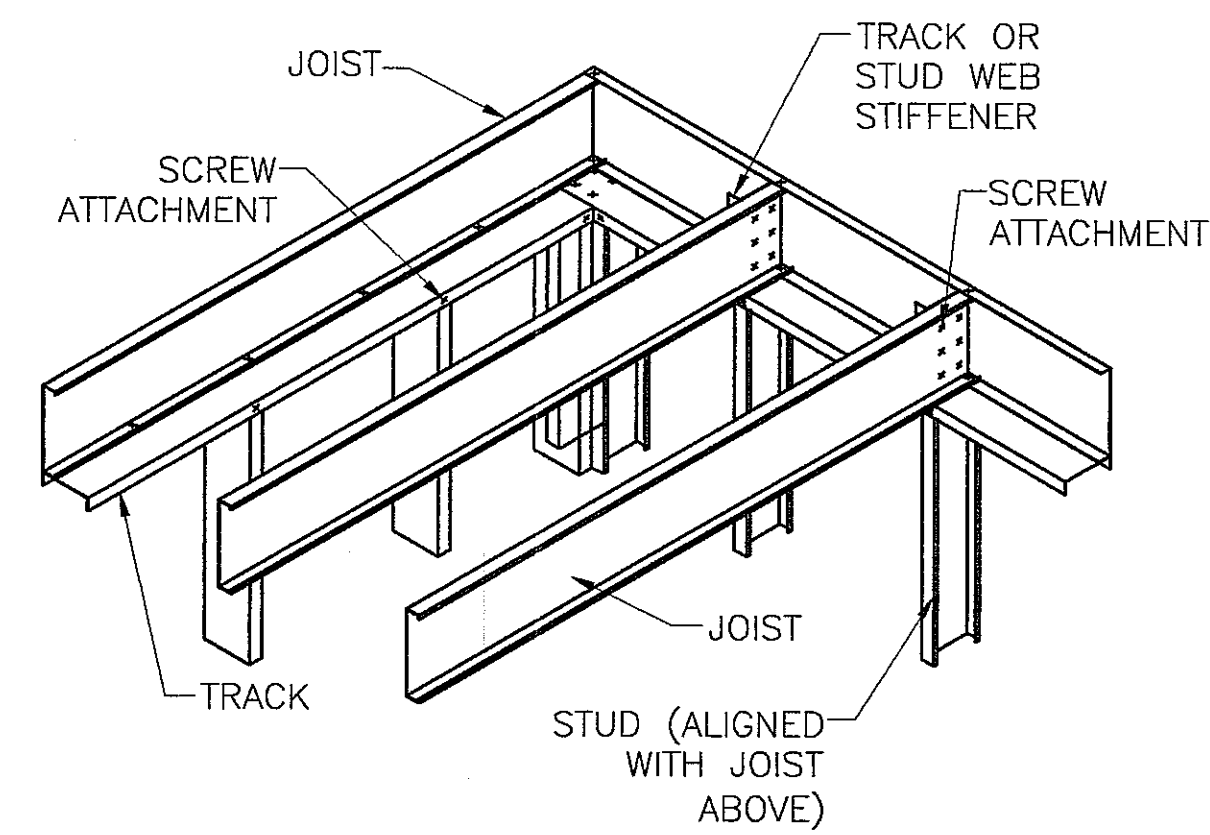
PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

**AS BUILT**

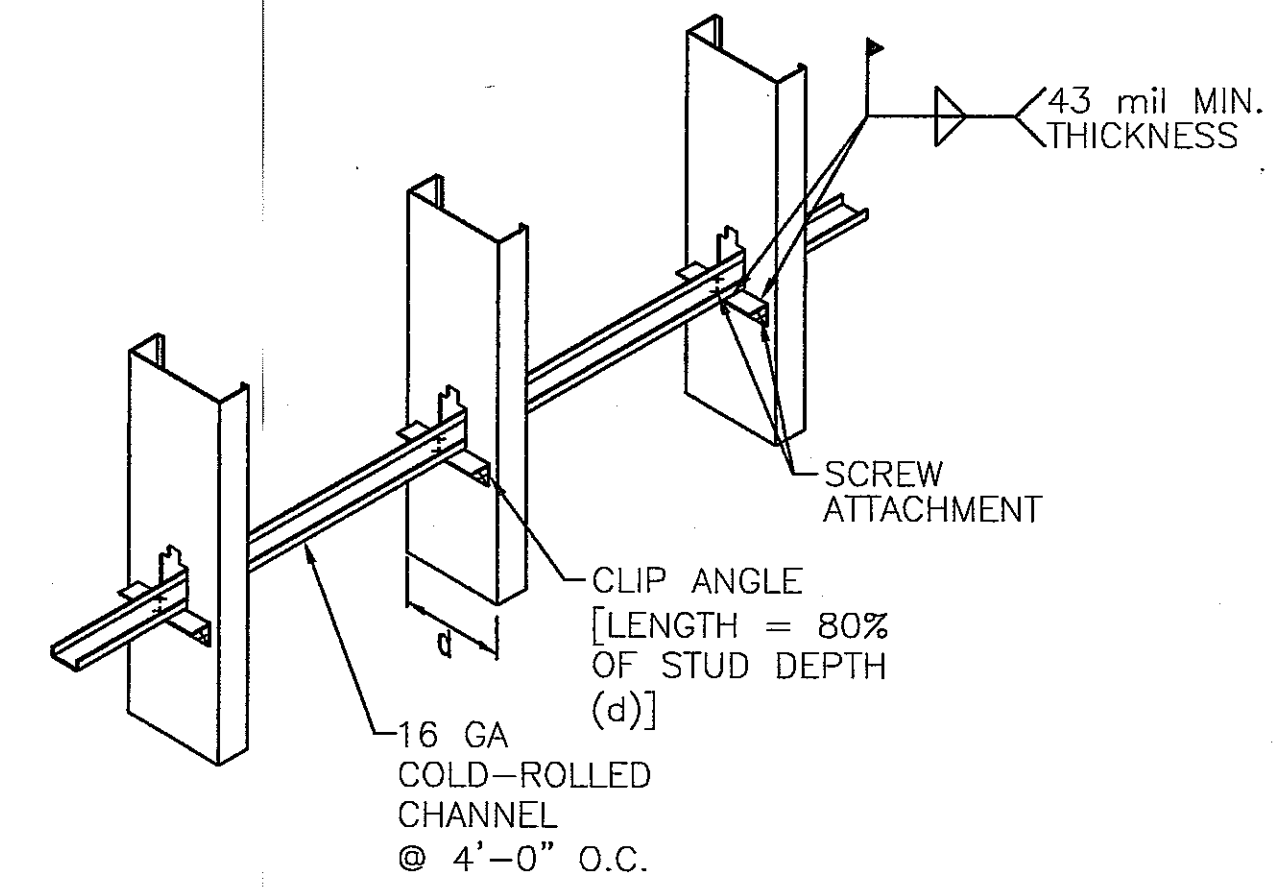
SHEET NUMBER  
 S3.2



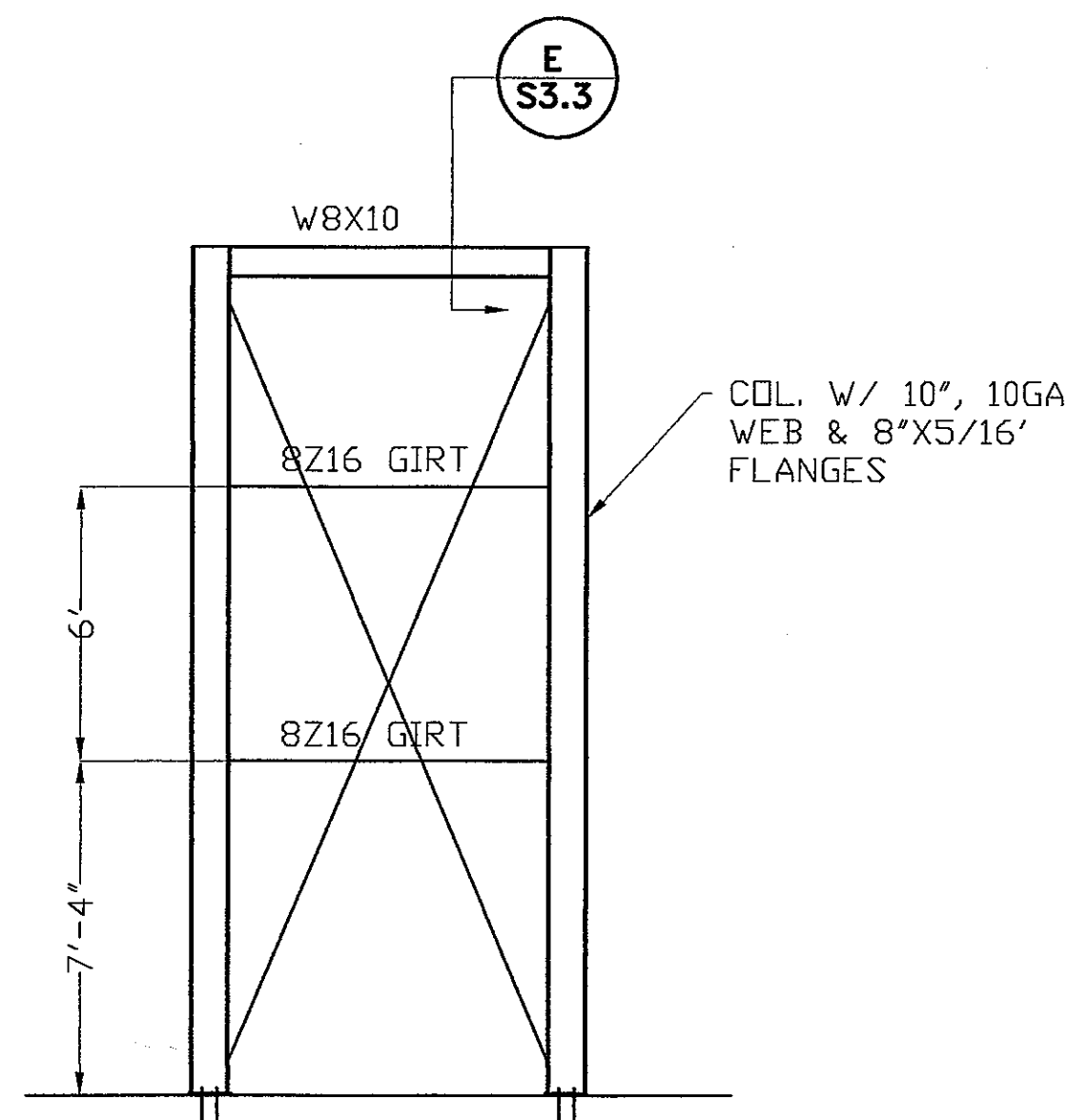
**A** WALL X BRACING DETAIL  
 S3.3 SCALE: NONE



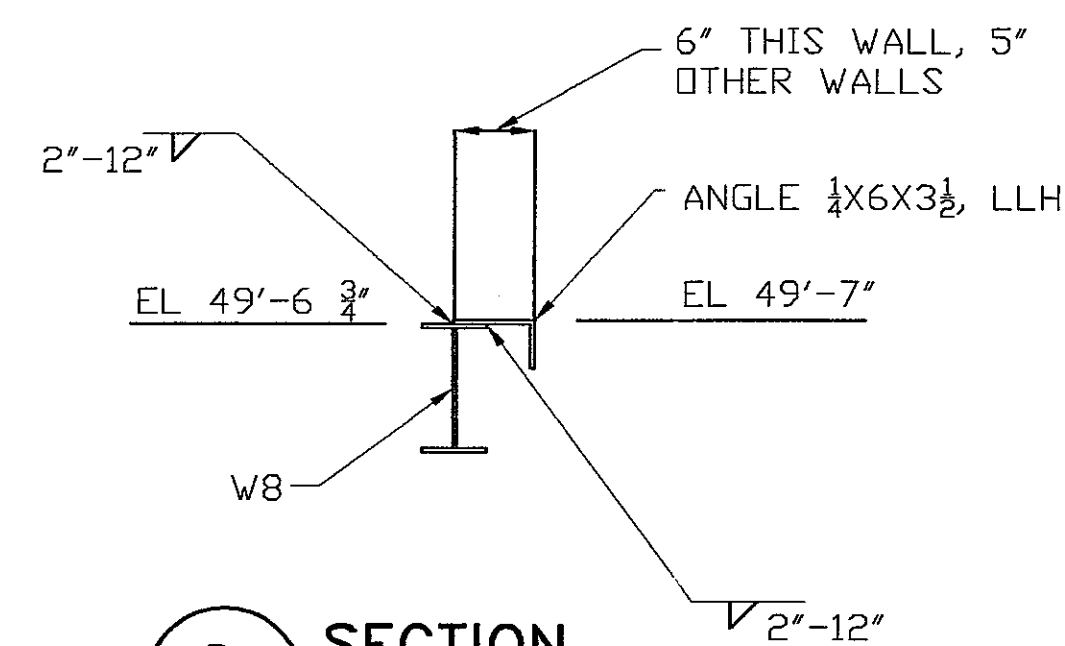
**B** FLOOR JOIST DETAILS  
 S3.3 SCALE: NONE



**C** WALL BRACING DETAILS  
 S3.3 SCALE: NONE



**D** FRAMING ELEVATION  
 S3.3 SCALE: NONE



**E** SECTION  
 S3.3 SCALE: NONE

PROJECT NAME:



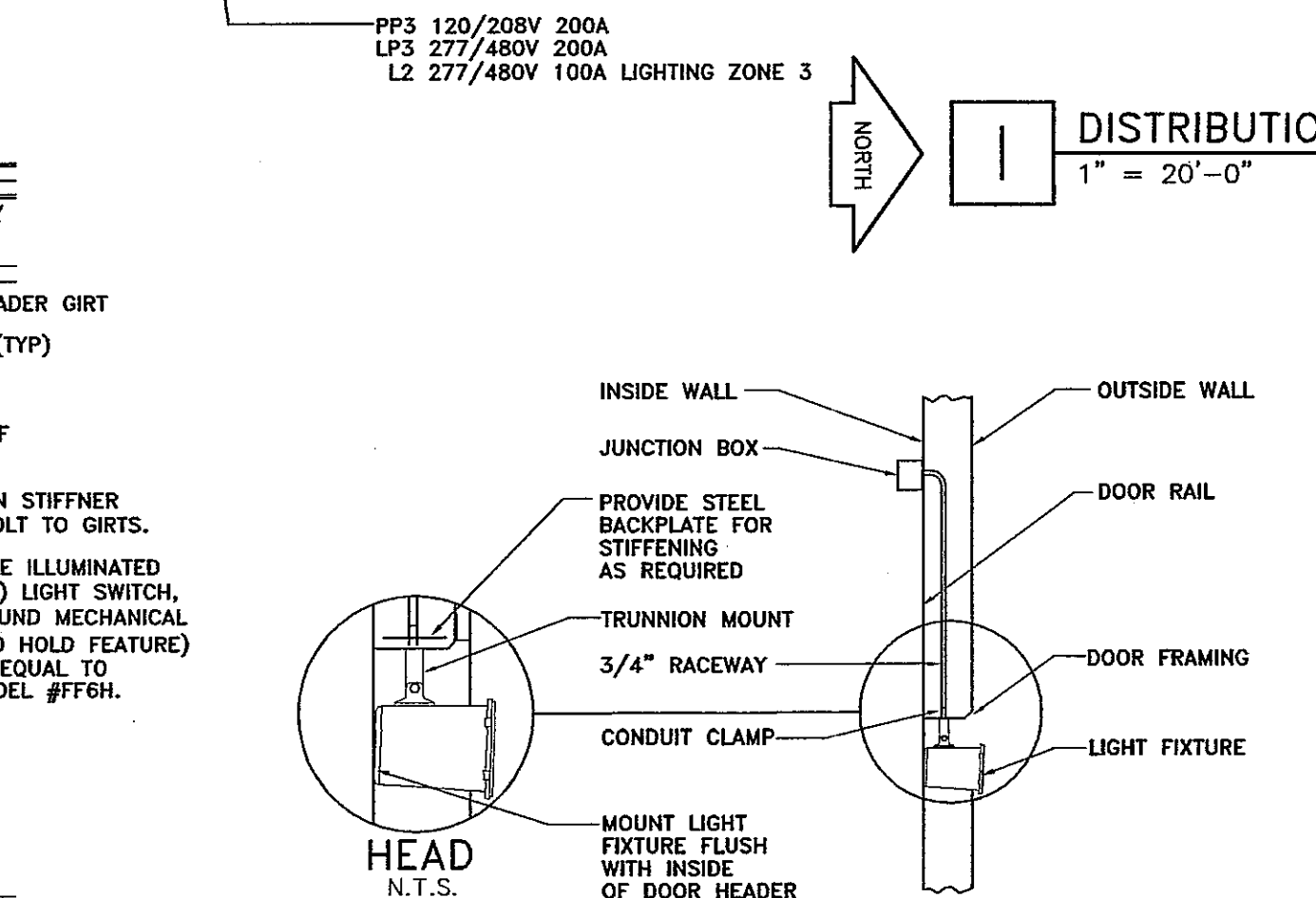
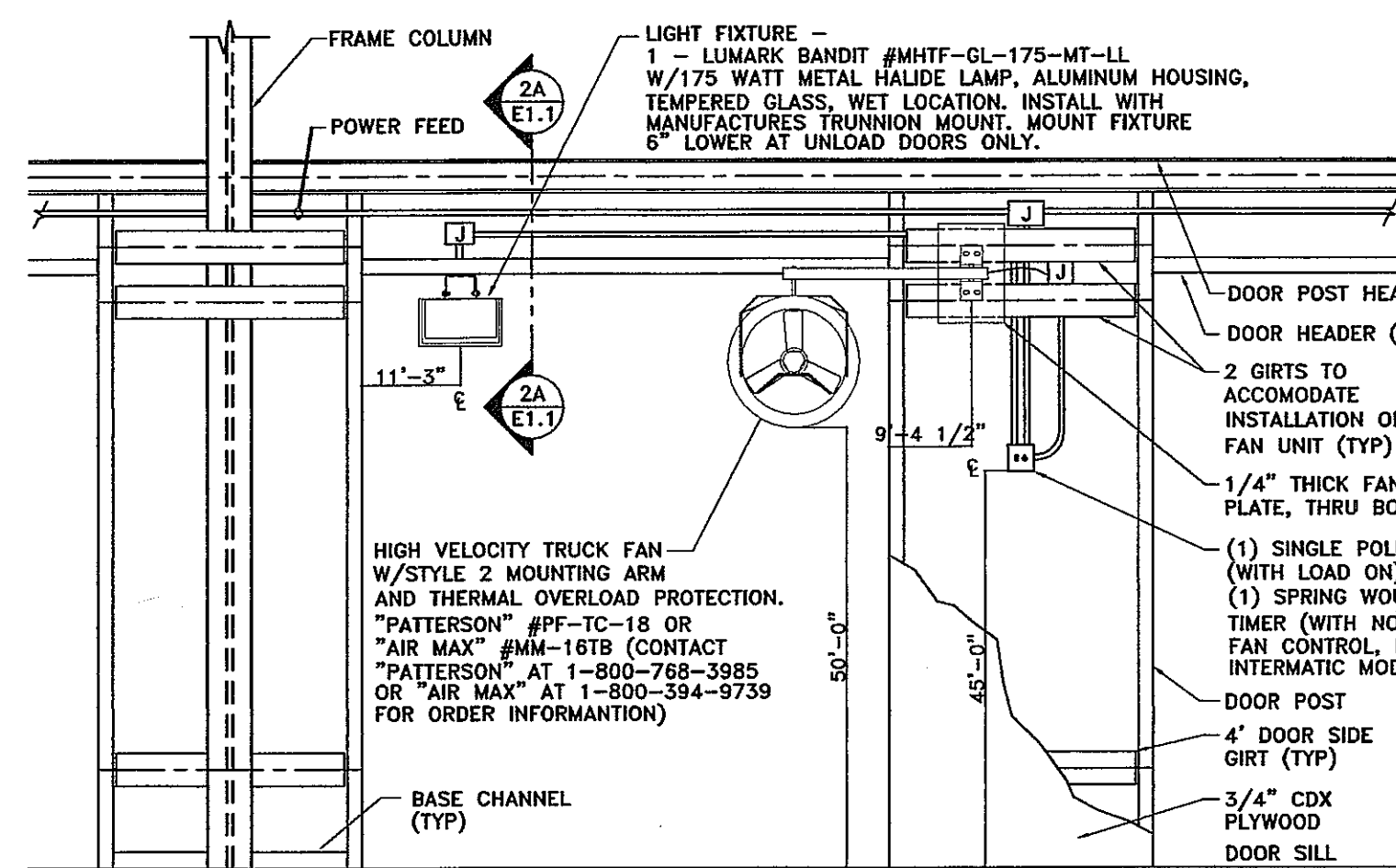
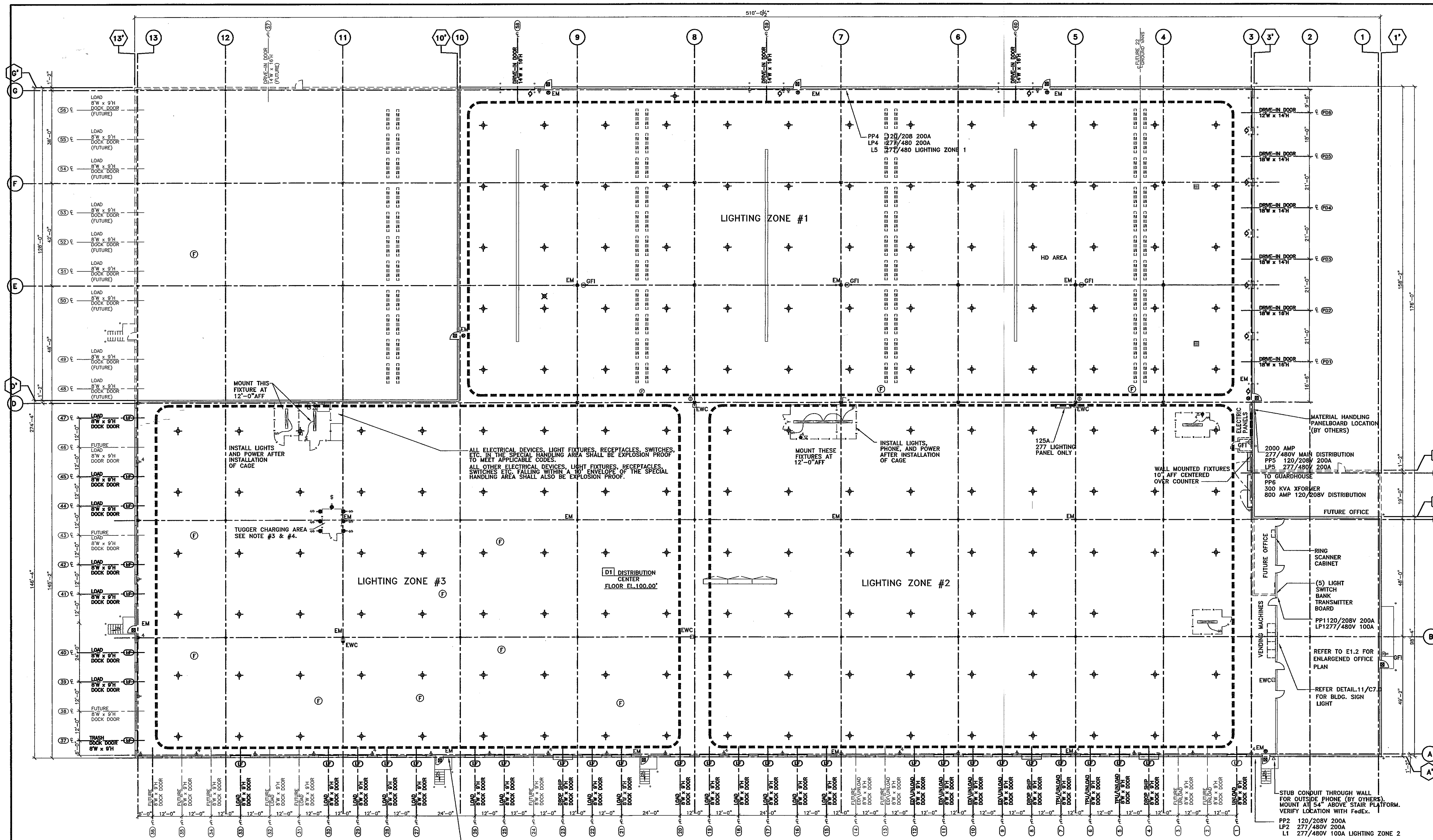
SHEET TITLE:  
 VEHICLE MAINTENANCE GARAGE  
 SECTIONS & DETAILS - SHT 2

NO.	DATE	REVISIONS	BY
1	4-29-04	REVISED PLAN	DAN

PROJECT NUMBER:  
 DATE: 9-24-03  
 DRAWN BY: DAN  
 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\

**AS BUILT**

SHEET NUMBER  
 S3.3



**DISTRIBUTION CENTER LIGHTING & POWER PLAN**  
 1" = 20'-0"

- NOTES:**
- COORDINATE/VERIFY LOCATION OF ALL LIGHT FIXTURES WITH FedEx. FINAL POSITIONING/INSTALLATION OF FIXTURES MAY BE REQUIRED UPON COMPLETION OF CONVEYOR INSTALLATION.
  - MOUNTING HT. FOR HPS FIXTURES SHALL BE 24'-0" A.F.F. AT LOW POINT.
  - PROVIDE SWITCHED OUTLETS FOR TUGGER CHARGERS. SWITCH SHALL ALSO SIGNAL NEAREST BUILDING EXHAUST FAN UNIT.
  - POST NO SMOKING SIGNS IN TUGGER CHARGING AREA.
  - VERIFY LOCATION OF ELECTRICAL PANELS WITH FedEx.

**LEGEND**

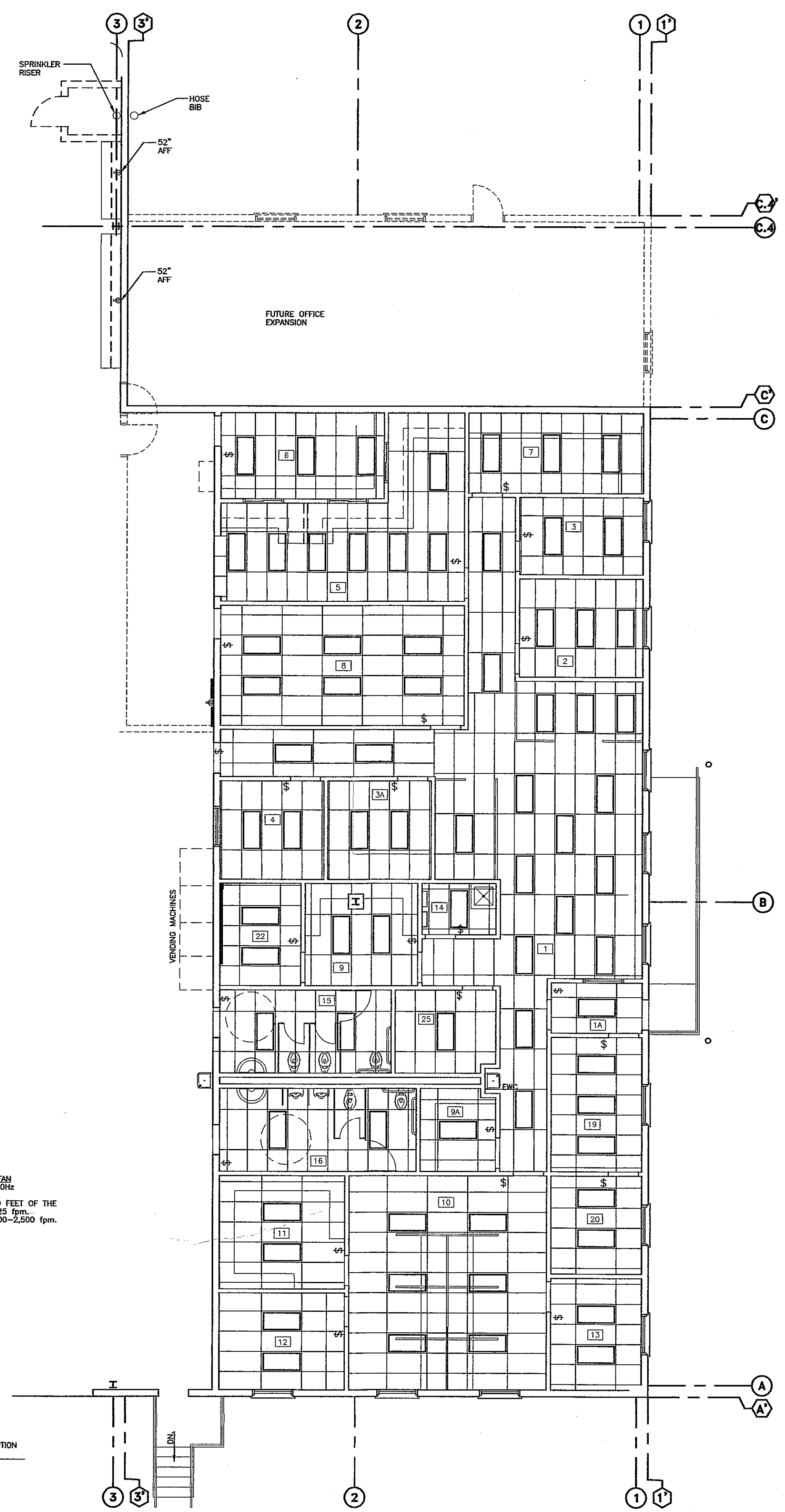
⊕ 400W HPS HIGH BAY LIGHT - 173	⊕ GARAGE DOOR OPENER - 9
⊕ LF DOCK LIGHT & FAN - NOT AT FUTURE-34	⊕ EXIT LIGHT - 6
⊕ 100W M.H. WALL PACK - 10	EM EMERGENCY LIGHT - 19
⊕ LOCATION OF FLUSH SINGLE GANG TELEPHONE OUTLET WITH 3/4" CONDUIT W/PULL WIRE TO ACCESSIBLE CEILING/JOIST SPACE. TERMINATE CONDUITS WITH PLASTIC BUSHINGS. INSTALL COVER PLATES AT ALL LOCATIONS. (TYP) (PROVIDE CONTINUOUS RUN CONDUITS IN JOIST SPACE IF REQUIRED BY CODE.)	⊕ DESIGN AND PROVIDE ADEQUATE CIRCUIT BREAKER IN POWER PANEL TO ACCOMMODATE HIGH VOLTAGE TRUCK FANS SIMILAR TO THOSE NOTED IN DETAIL 2/E-1. THE FAN, CONDUIT AND WIRING WILL BE FURNISHED AND INSTALLED BY OTHERS.
⊕ DUPLEX RECEPTACLES	⊕ NEW FLUORESCENT LIGHT FIXTURE APPROVED LIGHT FIXTURES W/2-F96T12/CW/HO "WATT MISER" LAMPS: - LITHONIA EJ-295HO - DAY-BRITE FKR-1125-BU - METALUX DIMM-296HO
⊕ DUPLEX RECEPTACLES ON A DEDICATED CURCUIT	⊕ DESIGN AND PROVIDE ADEQUATE CIRCUIT BREAKERS IN POWER PANEL TO ACCOMMODATE LIGHT FIXTURES SIMILAR TO THOSE NOTED ABOVE. THE FIXTURES, CONDUIT AND WIRING WILL BE FURNISHED AND INSTALLED BY OTHERS.
⊕ GROUND FAULT INTERRUPT DUPLEX RECEPTAL	
⊕ QUADPLEX RECEPTACLES	
⊕ QUADPLEX RECEPTACLES ON DEDICATED CIRCUIT	
⊕ WALL LIGHT SWITCH	

NO.	DATE	REVISIONS	BY

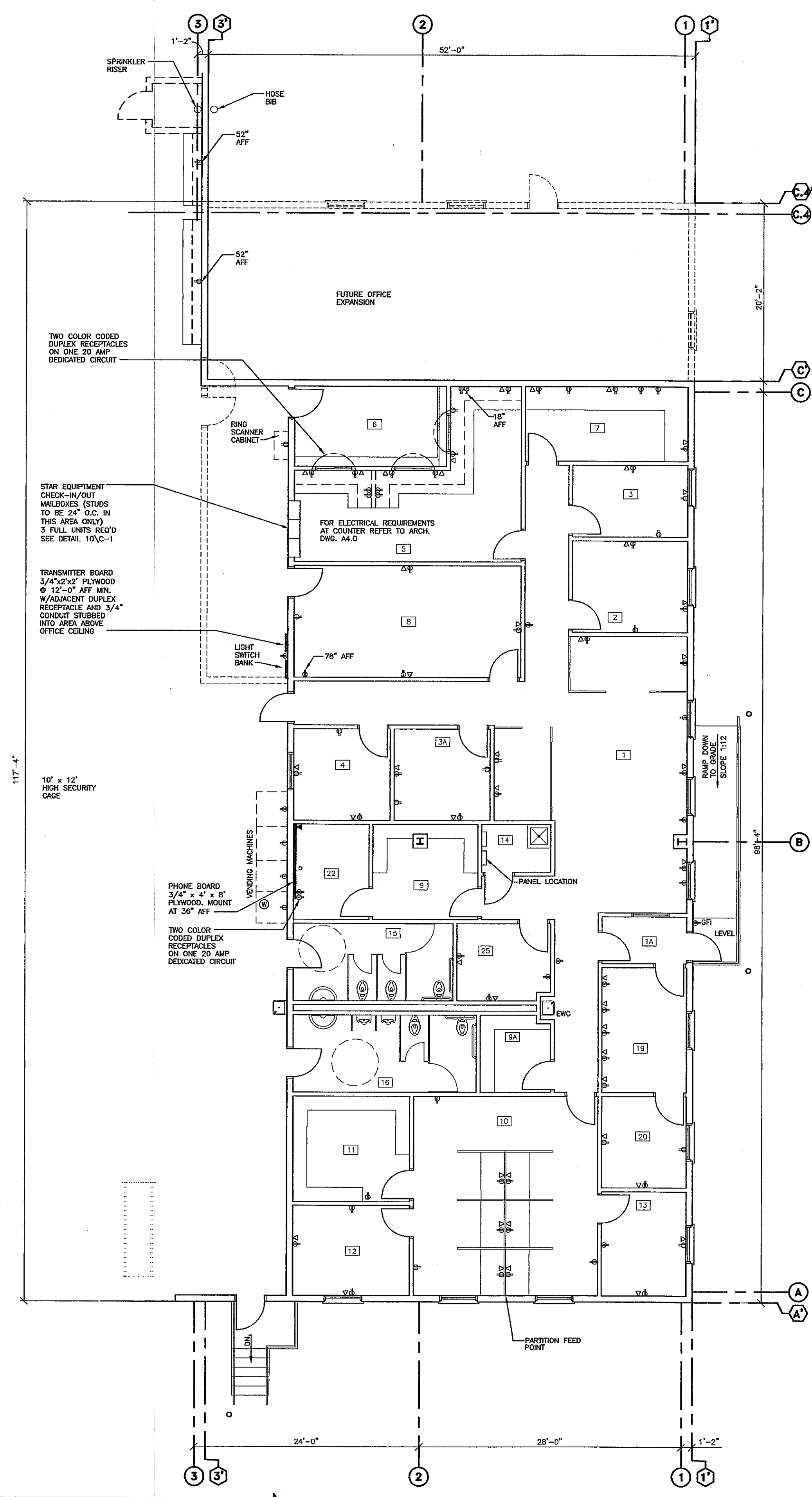
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 CHECKED BY: D. NELSEN  
 PROJECT MANAGER: D. NELSEN  
 FILE NAME: C:\DAVETEMP\  
 SHEET NUMBER



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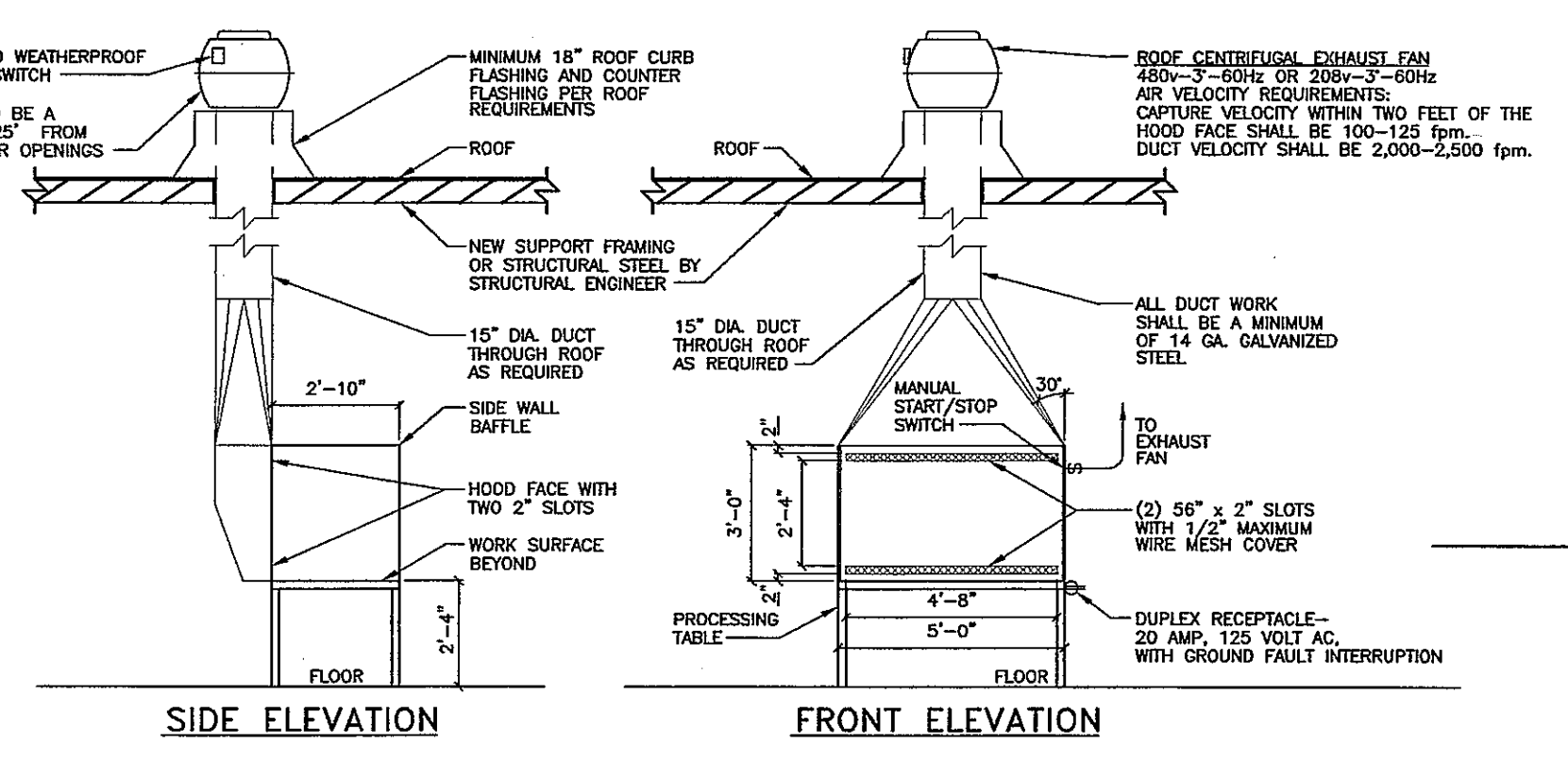
**2 OFFICE LIGHTING PLAN - PHASE I**  
 SCALE: 1/8" = 1'-0"



**1 OFFICE POWER PLAN - PHASE I**  
 SCALE: 1/8" = 1'-0"

**LEGEND**

⊙ 480 VOLT WELDING OUTLET	⊕ GARAGE DOOR OPENER
⊗ CONDUIT W/PULL WIRE TO WAREHOUSE JOIST SPACE, SIZE AS NOTED.	⊖ EXIT LIGHT
⊚ LOCATION OF FURNISH SINGLE GANG TELEPHONE OUTLET WITH 3/4" CONDUIT W/FULL WIRE TO ACCESSIBLE CEILING JOIST SPACE. TERMINATE CONDUITS WITH PLASTIC BUSHINGS. INSTALL COVER PLATES AT ALL LOCATIONS. (TYP) (PROVIDE CONTINUOUS RUN CONDUITS IN JOIST SPACE IF REQUIRED BY CODE.)	⊕ EM EMERGENCY LIGHT
⊕ DUPLEX RECEPTACLES	⊕ DESIGN AND PROVIDE ADEQUATE CIRCUIT BREAKER IN POWER PANEL TO ACCOMMODATE HIGH VELOCITY TRUCK FANS SIMILAR TO THOSE NOTED IN DETAIL 2/E-10. THE FAN CONDUIT AND WIRING WILL BE FURNISHED AND INSTALLED BY OTHERS.
⊕ GROUND FAULT INTERRUPT DUPLEX RECEPTICAL	⊕ FLUORESCENT LIGHT FIXTURE
	⊕ WALL LIGHT SWITCH



**3 SPECIAL HANDLING EXHAUST DETAIL**  
 SCALE: 1/4" = 1'-0"

- NOTES:
- FURNISH AND INSTALL 60" x 34" x 28" PROCESSING TABLE (ITEM #1322-08) WITH POLYPROPYLENE SOLID TOP AS MANUFACTURED BY TERRA UNIVERSAL INC. (714) 526-0100 OR APPROVED EQUAL.
  - FURNISH AND INSTALL HAWS MODEL 8300 EMERGENCY EYEWASH AND SHOWER STATION (ITEM #RHC000) DISTRIBUTED BY STAFFORD SAFETY PRODUCTS CHICAGO, IL 1-800-535-7233 OR APPROVED EQUAL. UNIT SHALL BE PLUMBED TO A 1/2" MINIMUM WATER SUPPLY LINE WITH WATER HEATER TO MAINTAIN A TYPICAL WATER TEMPERATURE (TYP - 92°F). FLOOR DRAIN IS NOT REQUIRED. COORDINATE LOCATION WITH FireEx.
  - EMERGENCY EYEWASH AND SHOWER STATION SHALL BE LOCATED WITHIN 15' OF THE SPECIAL HANDLING AREA.
  - ALL ELECTRICAL DEVICES, LIGHT FIXTURES, RECEPTACLES, SWITCHES, ETC. IN THE SPECIAL HANDLING AREA SHALL BE EXPLOSION PROOF TO MEET APPLICABLE CODES.
  - ALL OTHER ELECTRICAL DEVICES, LIGHT FIXTURES, RECEPTACLES, SWITCHES ETC. FALLING WITHIN A 10' ENVELOPE OF THE SPECIAL HANDLING AREA SHALL ALSO BE EXPLOSION PROOF.

**AS BUILT**